

KROGER SW-585

WITHIN THE WALLS REMODEL

1101 FLOWER MOUND RD. FLOWER MOUND, TX

A DEVELOPMENT OF: KROGER

KROGER WITHIN THE WALLS REMODEL TO SW-585

1101 FLOWER MOUND RD. FLOWER MOUND, TEXAS 75028



THE KROGER CO.

ISSUE LOG

NO.	DESCRIPTION	DATE
	ISSUED FOR BID	11.24.2012

GENERAL NOTES

1. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND BASE THE BID ON THE EXISTING CONDITIONS IN ADDITION TO THE CURRENT COMPLETE SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PROMPTLY OF ANY DISCREPANCIES IN THE FIELD CONDITIONS OR DIMENSIONS PRIOR TO SUBMITTING THE BID.
2. THE CONTRACTOR SHALL VERIFY THE LAYOUT AND THE EXACT LOCATION OF ALL PARTITIONS, DOORS, TELEPHONE & ELECTRICAL OUTLETS AND LIGHT SWITCHES WITH THE ARCHITECT SHOULD ANY QUESTIONS REGARDING LOCATION ARISE IN THE FIELD WHICH ARE NOT RESOLVED BY THE CONSTRUCTION DOCUMENTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REQUIREMENTS, BUILDING CODES, AND ORDINANCES.
4. ALL EQUIPMENT, FIXTURES, ETC. SHOWN ON THE PLANS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES OF ALL SPECIAL CONSTRUCTION, ETC. IN A TIMELY MANNER FOR THE ARCHITECT TO REVIEW PRIOR TO CONSTRUCTION.
6. DIMENSIONS ARE SHOWN ON THE PLANS. DO NOT SCALE OFF THE DRAWINGS.
7. ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF THE CONCRETE SLAB UNLESS NOTED OTHERWISE.
8. MANUFACTURED MATERIALS, EQUIPMENT, ETC. SPECIFIED FOR THIS CONTRACT SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS UNLESS NOTED OTHERWISE.
9. ALL REQUESTS FOR SUBSTITUTIONS OF ANY ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND SHALL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, MORE ADVANTAGEOUS DELIVERY DATE, OR A LESSER PRICE WITH A CREDIT TO THE OWNER WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE, AND FUNCTION UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.
10. "TYP" OR "TYPICAL" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
11. "ALIGN" MEANS THAT SIMILAR COMPONENTS OF CONSTRUCTION SUCH AS WALLS, JAMBS, ETC. SHALL ALIGN ACROSS VOIDS OR ADJACENT TO EXISTING CONSTRUCTION.
12. THE ARCHITECT SHALL BE THE PRIMARY SOURCE FOR INFORMATION REGARDING EACH DISCIPLINE, IE: ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL, ETC.
13. ALL MATERIALS USED FOR NEW CONSTRUCTION INCLUDING BUT NOT LIMITED TO, INSULATION, ADHESIVES, COATINGS, ETC., SHALL BE 100% NON-ASBESTOS CONTAINING MATERIALS.
14. GC TO PROVIDE MEANS AND METHOD TO GET RLNI CASES INTO THE STORE.
15. GC TO PAINT ANY REFRIGERATED CASES REMAINING ON SALES FLOOR OR FROM R&S (BAKERY AND DAIRY) TO MATCH NEW DECOR. GC TO PROVIDE AND INSTALL NEW BUMPERS FOR BAKERY CASES REMAINING AND FROM R&S.

BUILDING CODE SUMMARY

BUILDING CODE:	2009 INTERNATIONAL BUILDING CODE
PLUMBING CODE:	2009 INTERNATIONAL PLUMBING CODE
MECHANICAL CODE:	2009 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE:	2011 NATIONAL ELECTRICAL CODE
ENERGY CODE:	2009 I.E.C.C
FIRE CODE:	2009 INTERNATIONAL FIRE CODE
ACCESSIBILITY CODE:	TEXAS ACCESSIBILITY STANDARDS (T.A.S.)
CONSTRUCTION DESCRIPTION: MINOR REMODEL OF AN EXISTING KROGER GROCERY STORE.	
ZONING:	
BUILDING OCCUPANCY:	M - MERCANTILE
CONSTRUCTION TYPE:	TYPE II-B
AUTOMATIC SPRINKLERS:	FULLY SPRINKLERED
MAXIMUM ALLOWABLE STORIES (TABLE 503): 2 STORIES	
MAXIMUM ALLOWABLE HEIGHT (TABLE 503): 55'	
MAXIMUM ALLOWABLE AREA (TABLE 503): UNLIMITED	
BUILDING AREA: 66,186 SQ.FT.	
SALES FLOOR AREA: 62,484 SQ.FT.	
MEZZANINE: 0 SQ.FT.	
DOCK / UTILITY FLOOR AREA: 3,701 SQ.FT.	
BUILDING AREA FOR OCCUPANT LOAD: 66,186 SQ.FT.	
AREA ON OTHER FLOORS: 0 SF / 60 = 0	
BASEMENT & GRADE FLOOR AREA: 62,484 SF / 30 = 2,083	
STORAGE, STOCK, & SHIPPING AREA: 3,701 SF / 300 = 13	
OCCUPANCY = 2,096	
EGRESS WIDTH PER OCCUPANT LOAD (TABLE 1005.1): 2,096 X 2 = 419" REQ.	
TOTAL = 419" REQUIRED 482" PROVIDED	
PLUMBING FIXTURES PER OCCUPANT LOAD: 2,096 / 2 (MALE/FEMALE) = 1,048	
WATER CLOSETS: 3 MALE / 3 FEMALE REQ. 2 MALE / 2 FEMALE PROVIDED (1 PER 500 REQUIRED): 4 MALE / 4 FEMALE PROVIDED	
LAVATORIES: 2 MALE / 2 FEMALE REQ. 4 MALE / 4 FEMALE PROVIDED (1 PER 750 REQUIRED):	
DRINKING FOUNTAINS: HIGH/LOW PROVIDED (1 PER 1,000 REQUIRED):	
MAXIMUM EXIT ACCESS TRAVEL DISTANCE (TABLE 1016.1): 250 FT. M-OCCUPANCY	
FIRE RESISTANCE RATINGS (TABLE 601):	
STRUCTURAL FRAME (COL, GIRDER, TRUSS): 0	
BEARING WALLS (EXTERIOR): 0	
BEARING WALLS (INTERIOR): N/A	
FLOOR CONSTRUCTION: 0	
ROOF CONSTRUCTION: 0	

GENERAL CONTRACTOR NOTE:
THE BUILDING ELEMENTS SHALL BE CONSTRUCTED TO MEET THE FIRE RESISTIVE RATINGS NOTED ABOVE. SHOULD ANY DETAIL OR SPECIFICATION CONFLICT WITH THE RATING ABOVE, THE CONTRACTOR SHALL PROVIDE THE FIRE PROTECTION AS REQUIRED BY THE BUILDING CODE ABOVE AND NOTIFY THE ARCHITECT FOR CLARIFICATION.

PROJECT DIRECTORY

TEAM	
THE KROGER CO. 131 EAST AIRPORT FREEWAY IRVING, TX 75062 CONTACT: MARK NEWTON PHONE: (972) 788-6071 FAX: (972) 788-6071 E-MAIL: MARK_NEWTON@KROGER.COM	
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STRUCTURAL ENGINEER	
SMITH ENGINEERING CO., INC. 519 BARKSDALE BOULEVARD BOSSIER CITY, LA 71111 CONTACT: BRIAN SMITH PHONE: (510) 741-1098 FAX: (510) 741-1099 E-MAIL: SMITHBRC@BELLSOUTH.NET	
MECHANICAL, ELECTRICAL AND PLUMBING ENGINEER	
KALMANS MARSHALL ENGINEERING 1425 GREENWAY DRIVE, SUITE 640 IRVING, TX 75038 CONTACT: KEITH GASSMAN PHONE: (972) 612-1270 FAX: (972) 612-1271 E-MAIL: KGASSMAN@KME-INC.COM	
INTERIOR DECOR DESIGNER	
DESIGN FABRICATIONS INC 1101 EAST MANDOLINE AVE MADISON HEIGHTS, MI 48071 CONTACT: NATHAN WAYNE PHONE: (800) 968-8440 FAX: (248) 597-0989 E-MAIL: NWAYNE@DFADDESIGN.COM	

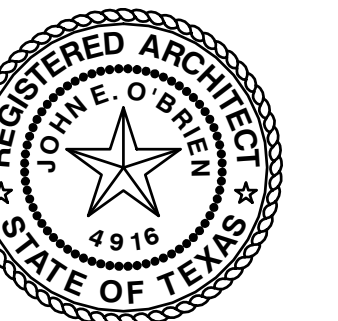
SHEET INDEX:

DATE	REV.	SHEET #	SHEET NAME
11.29.12		G1.0	COVER SHEET / INDEX
STRUCTURAL DRAWINGS			
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ARCHITECTURAL DRAWINGS			
11.29.12		AD1.1	DEMOLITION FLOOR PLAN
11.29.12		AD1.2	DEMO REFLECTED CEILING PLAN
11.29.12		A1.1	FLOOR PLAN
11.29.12		A1.3	REFLECTED CEILING PLAN
11.29.12		A3.2.1	WALL SECTIONS AND DETAILS
11.29.12		A4.1	ENLARGED FLOOR PLANS
11.29.12		A5.1	ARCHITECTURAL STANDARD DETAILS
11.29.12		A5.1.1	ARCHITECTURAL STANDARD DETAILS
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INTERIOR DRAWINGS			
10.09.12		F1	FIXTURE PLAN
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11.29.12		I1.3	DECOR PLAN
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11.29.12		I2.1	DECOR ELEVATIONS
11.29.12		I2.2	DECOR ELEVATIONS
11.29.12		I2.3	DECOR ELEVATIONS
11.29.12		I2.4	DECOR ELEVATIONS
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11.29.12		P1.4	PLUMBING DIMENSION PLAN
11.29.12		PS.1	PLUMBING DETAILS
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HEATING, VENTILATION, AND AIR			
11.29.12		MD1	HVAC DEMOLITION PLAN
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11.29.12		M5.1	MECHANICAL STANDARD DETAILS
ELECTRICAL			
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11.29.12		ED2	POWER DEMOLITION PLAN
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11.29.12		E1.2.2	ELECTRICAL KEY NOTES
11.29.12		E5.1	ELECTRICAL STANDARD DETAILS
11.29.12		E5.2	ELECTRICAL STANDARD DETAILS
11.29.12		E6.1	LIGHTING FIXTURE SCHEDULE AND ELECTRICAL LEGEND
11.29.12		E6.2	SINGLE LINE DIAGRAM
11.29.12		E6.2.1	PANEL SCHEDULES
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11.29.12		EM2	ENERGY MANAGEMENT DETAILS
11.29.12		EM3	ENERGY MANAGEMENT DETAILS
11.29.12		EM4	ENERGY MANAGEMENT DETAILS
11.29.12		EM5	ENERGY MANAGEMENT DETAILS
11.29.12		EM6	ENERGY MANAGEMENT DETAILS
11.29.12		EM7	ENERGY MANAGEMENT DETAILS



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JOHN O'BRIEN - ARCHITECT

REGISTRATION NO. 4916

DATE: 11.06.2012 JOB: 12007 SCALE:

SHEET NO.

G1.0
COVER SHEET / INDEX



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KEYED NOTE LEGEND

- ◇ GENERAL KEYNOTE
- DOOR KEYNOTE, REFER DOOR SCHEDULE ON A6.J
- HALL TYPE KEYNOTE, REFER TO A8.2.I
- ROOM NAME
- ### ROOM FINISH KEYNOTE, REFER TO A6.J

KEYED NOTES

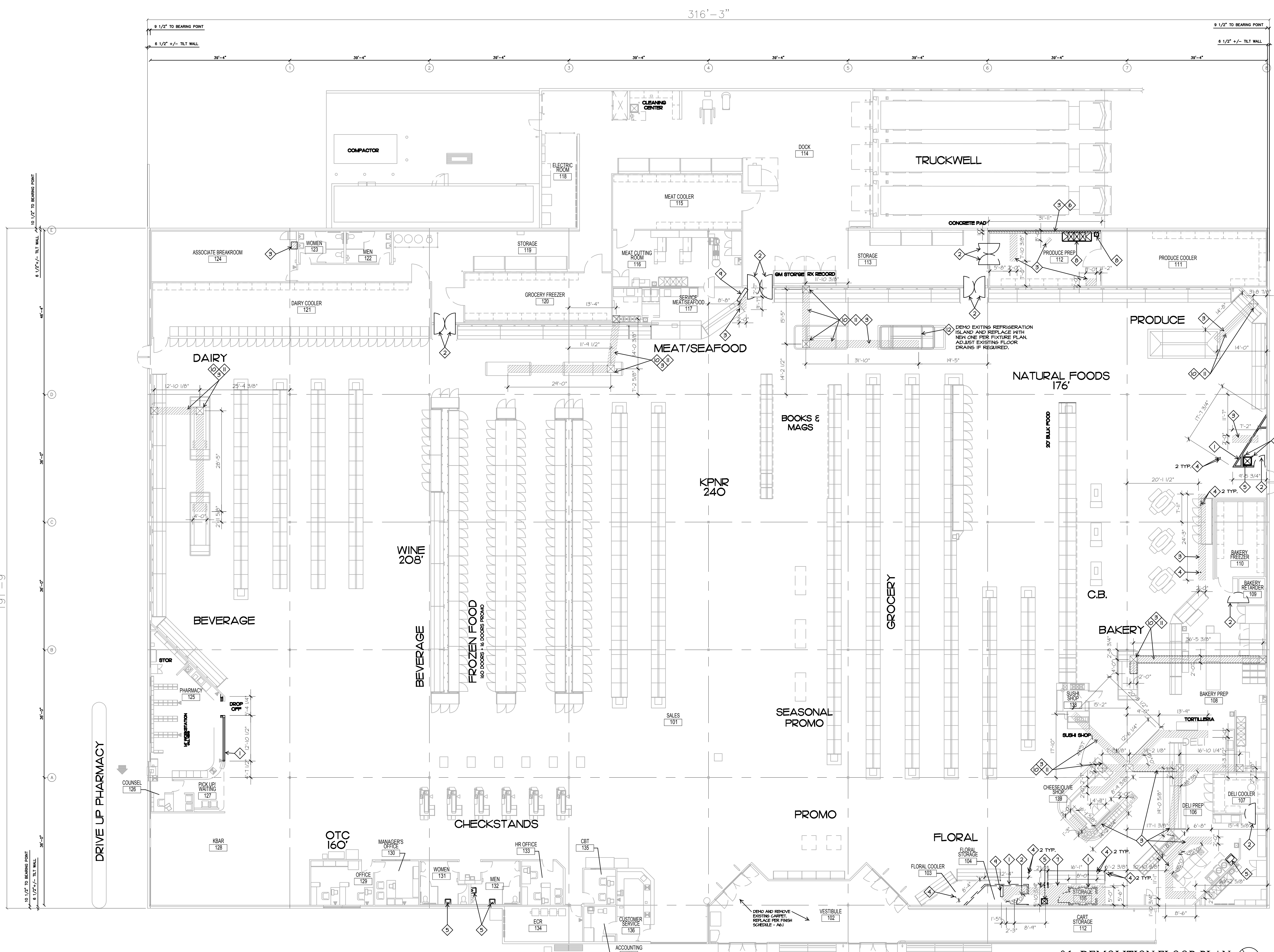
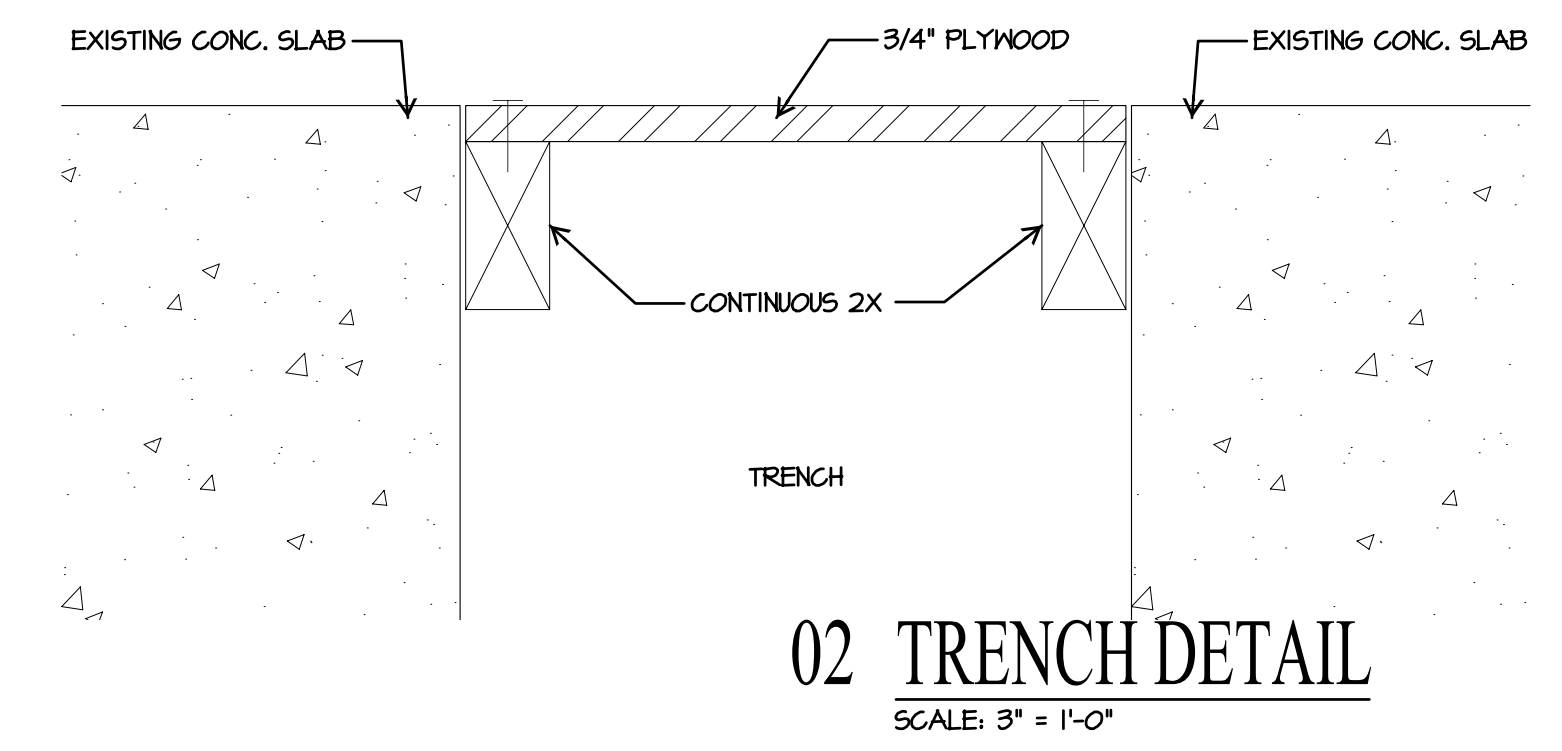
- ◇ DEMOLISH AND REMOVE EXISTING WALLS, WINDOWS, AND HEADINGS. REFER FLOOR PLAN SHEET A1 FOR EXTENT OF NEW CONSTRUCTION.
- ◇ DEMOLISH AND REMOVE EXISTING DOOR.
- ◇ SAN-CUT AND REMOVE EXISTING FLOOR SLAB. WHERE INDICATED ON PLUMBING DRAWINGS, INSTALL PLUMBING PRIOR TO PATCHING REMOVED AREA. REFER PLUMBING DRAWINGS. REFER TO ASD-64, ASD-194 & 595D-1 ON A5.J.I AND A5.J.II.
- ◇ DEMOLISH AND REMOVE EXISTING BOLLARD - PATCH FLOOR TO RECEIVE VGT TO MATCH EXISTING SALES FLOORING. SEE A11(A4) FOR LOCATION OF NEW BOLLARD.
- ◇ DEMOLISH AND REMOVE EXISTING PLUMBING FIXTURE. CAP DRAIN PER MEP DRAWINGS. NEW FLOOR FINISHES TO MATCH EXISTING.
- ◇ DEMOLISH AND REMOVE EXISTING COOLER PANEL TO MAKE ROOM FOR NEW 6" PLUMBING CHASE.
- ◇ SAN-CUT AND REMOVE EXISTING FLOOR SLAB. REFER TO A4.I FOR CONCRETE PLACEMENT, NEW FLOOR SLOPE AND FINISH MATERIALS. REFER MEP FOR DRAIN LOCATIONS REFER ASD-64.
- ◇ RELOCATE EXISTING PLUMBING FIXTURE. CAP DRAIN PER MEP DRAWINGS. NEW FLOOR FINISHES TO MATCH EXISTING. REFER A11 AND MEP.
- ◇ NEW TRENCH DRAIN, REFER TO ASD-4A.
- ◇ SUGGESTED LOCATIONS OF FITS AND PVC PIPES FOR THE ROUTING OF REFRIGERATION LINES. ALTERNATE ROUTING MAY BE REQUIRED. FIELD CONDITIONS TO BE VERIFIED FOR CONFLICTS AND THE PRACTICALITY OF UTILIZING EXISTING ROUTINGS. REFRIGERATION LINES NOT ROUTED UNDER FLOOR SHALL BE ROUTED AS HIGH AS PRACTICAL.
- ◇ 2'-0" X 2'-0" X 1'-3" DEEP PREFABRICATED PIT BOX FOR REFRIGERATION LINE ROUTING. REFER MEP TO CAP EXISTING DRAINS.
- ◇ AFTER DEMOLITION AND INSTALL - PATCH CONCRETE AND POLISH TO MATCH EXISTING. REFER MEP TO CAP EXISTING DRAINS.

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON DRAWINGS WITH THAT OF ACTUAL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. DRAWINGS ARE PROVIDED AS A GENERAL GUIDELINE. CONTRACTORS SHALL NOT RECEIVE ANY ADDITIONAL COMPENSATION FOR FAILURE TO VERIFY AND CONFIRM ALL ELEMENTS OF THE EXISTING CONDITIONS, BOTH VISIBLE AND CONCEALED.
2. ALL ASBESTOS MATERIALS SHALL BE REMOVED AND DISPOSED BY ABATEMENT CONTRACTOR. REFER ASBESTOS SURVEY FOR LIST OF MATERIALS FOR DISPOSAL. ALL MATERIALS CONTAINING ASBESTOS (INCLUDING FLOOR TILES AND MASTICS) SHALL BE DISPOSED ACCORDING TO ALL LOCAL LAWS AND REGULATIONS.
3. MAINTAIN MINIMUM EMERGENCY EXIT ACCESS WIDTH WHEN STORE IS OPEN. MERCHANDISE, FURNITURE, EQUIP, ETC. MUST BE PLACED SUCH THAT THE MIN REQUIRED EMERGENCY EXIT IS MAINTAINED AT ALL TIMES.
4. REFER REFLECTED CEILING DEMOLITION PLAN ON SHEET A2.2 FOR LIGHTING AND CEILING DEMOLITION.
5. REFER MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL UNDERFLOOR INSTALLATION WORK. MINIMIZE THE AMOUNT OF CUTTING AND PATCHING OF CONCRETE. CONTRACTOR SHALL COMBINE NEW MECHANICAL, ELECTRICAL, AND PLUMBING WORK IN A COMMON TRENCH WHERE FEASIBLE. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
7. REMOVE EXISTING DECOR FIXTURES INCLUDING DEPARTMENT GRAPHICS, WALL COVERINGS, AND PLASTIC TRIM. DECOR SHALL NOT BE STRIPPED. ALL AT ONCE. DEMO AND REPLACE ONE DEPARTMENT AT A TIME.
8. REMOVE ALL EXISTING HAND DRYERS IN ALL RESTROOMS AND PATCH HALL. RE-APPLY WALL FINISH AS REQUIRED.
9. REPLACE ALL MISSING OR DAMAGED PLASTIC CURTAINS.
10. PROVIDE TRENCHES IN FLOOR SLAB FOR NEW PLUMBING FIXTURES AND UTILITY LINES. REFER PLUMBING DRAWINGS AND REFRIGERATION DRAWINGS FOR ADDITIONAL INFORMATION.
11. REFER TO STRUCTURAL DRAWINGS FOR ALL NEW AND DEMO CONCRETE SLABWORK.

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01 DEMOLITION FLOOR PLAN
SCALE: 3/32" = 1'-0"
NORTH

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JOHN O'BRIEN - ARCHITECT
REGISTRATION NO. 4916
DATE: 11.06.2012 JOB: 12007 SCALE: 3/32" = 1'-0"

SHEET NO.
AD1.1
DEMOLITION FLOOR PLAN

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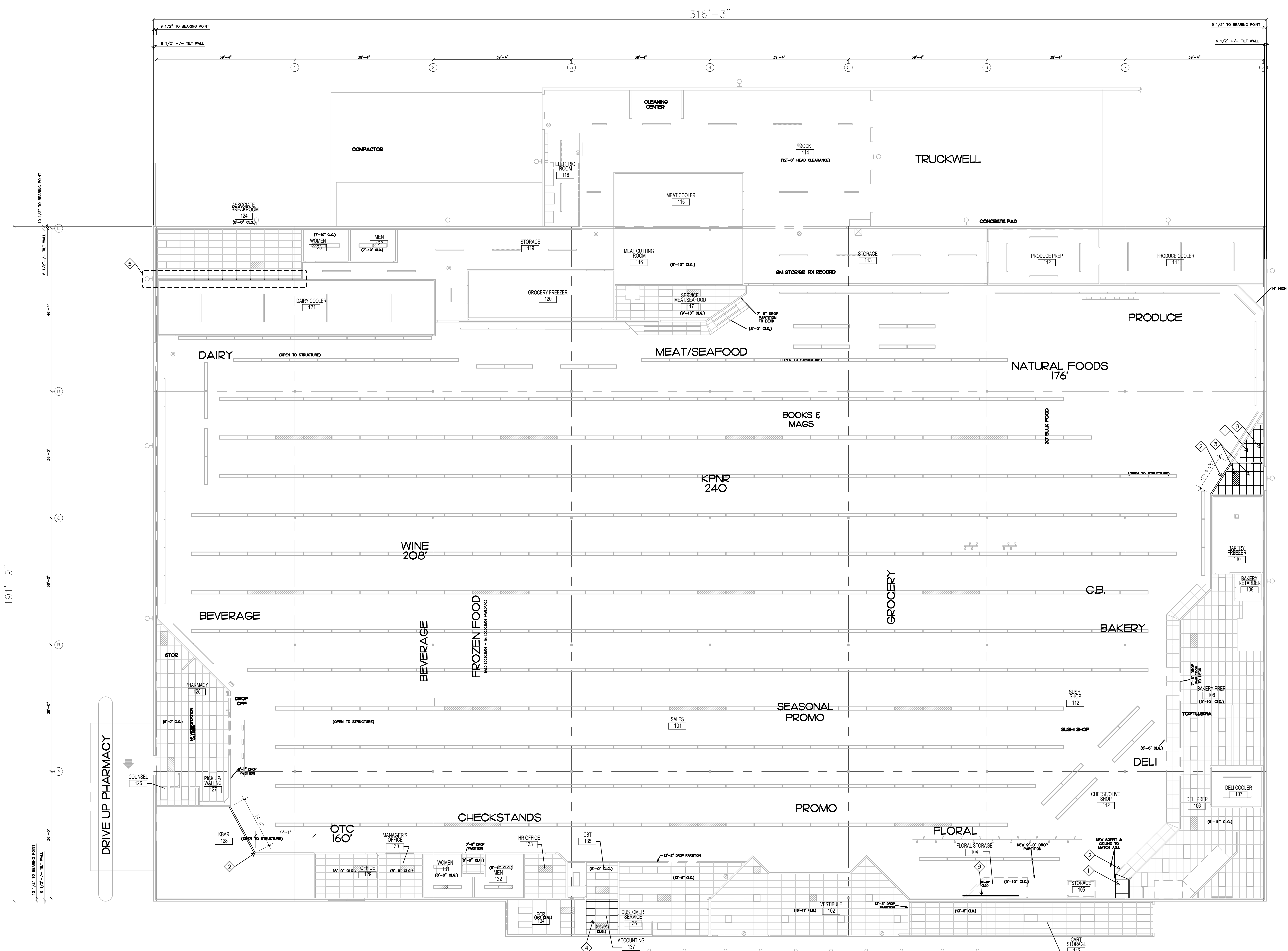
GENERAL NOTES

1. REFER MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
2. REFER FLOOR PLAN DEMOLITION PLAN ON SHEET ADJ1 FOR WALL AND FLOOR DEMOLITION.
3. DEMOLISH AND REMOVE ALL EXISTING HEADWALL SIGNAGE AND DECOR. DISCONNECT AND REMOVE ALL CORRESPONDING SIGN LIGHT FIXTURES. DEMO AND REPLACE ONE DEPARTMENT AT A TIME.
4. CLEAN ALL CEILING AREAS NOT SHOWN TO BE DEMOLISHED.
5. EXISTING CEILING GRID FRAME AND TILES TO REMAIN (UNLESS NOTED OTHERWISE). REPLACE DAMAGED, STAINED, OR MISSING CEILING TILES.
6. ALL TRACK LIGHT FIXTURES THAT WILL NOT BE REUSED ARE TO BE SAVED AND GIVEN TO THE KROGER PM. (PROPERLY PACKAGED)

KEYED NOTES

- ◇ DEMO CEILING TILES AND GRID.
- ◇ DEMOLISH REMOVE SOFFITS AND EXISTING HEAD WALLS. REFER TO A13 FOR NEW CEILING CONDITIONS.
- ◇ DEMOLISH REMOVE LIGHTS
- ◇ DEMO CEILING TILES ONLY EXISTING GRID TO REMAIN.
- ◇ ADJUST EXISTING CEILING GRID AT NEW WALL LOCATION.

REFERENCE MEP DRAWINGS FOR ALL NEW AND DEMO LIGHTING



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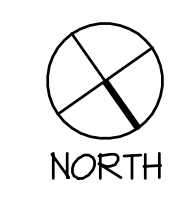
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SHEET NO.

AD1.2
DEMO REFLECTED CEILING PLAN

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01 DEMO REFLECTED CEILING PLAN
SCALE: 3/32" = 1'-0"



GENERAL NOTES

1. REPLACE ALL GASE BAMPERS PER NEW DECOR AND MISCELLANEOUS MISSEMAN CASE PARTS AS REQUIRED AND INDICATED BY KROGER P.M. REF. ASD-160.
2. REPLACE DAMAGED OR MISSING QUARRY TILE AND COVE BASES IN BAKERY, MEAT, SEAFOOD, ALL PREP AREAS, COOLERS AND FREEZERS AND IN FRONT VESTIBLES. REFER SPECS AND MATCH EXISTING QUARRY TILE AND COVE BASES.
3. SEAL ALL PENETRATIONS IN COOLERS AND FREEZERS.
4. PATCH AND REPAIR WALLS AS NEEDED. PREP FOR NEW FINISHES.
5. COVER ALL VISIBLE HORIZONTAL RING OF REFRIGERATOR CASES IN THE SALES FLOOR. COVER REFRIGERANT LINES WITH PAINTED, AND SHEET METAL ENCLOSURES AS DETAILED IN DECOR DRAWINGS. G.C. TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.
6. ALL NEW AND EXISTING COOLERS AND FREEZERS ARE TO HAVE ONE EMERGENCY LIGHT. ADD TO EXISTING COOLERS AND FREEZERS IF THEY DON'T ALREADY COMPLY. RE-HANG ANY EXISTING LIGHTS THAT ARE DAMAGED OR NOT FUNCTIONING PROPERLY. REPAIR ANY DAMAGE TO THE EXISTING DOOR FRAME AS REQUIRED.
7. G.C. IS TO ENSURE THAT ALL EXISTING OUTLETS AND CONDUITS ARE NOT DAMAGED, WORK PROPERLY AND HAVE NO EXPOSED WIRES.
8. REPLACE ALL DAMAGED OR MISSING ESCUTCHEONS THROUGH OUT STORE.
9. REPLACE DAMAGED OR MISSING VGT TO MATCH EXISTING TILE AND FLOOR PATTERN. REFER TO SPECIFICATION SECTIONS 06112 FOR ALL FINISHES AND DECOR DRAWINGS.
10. REPLACE ALL DAMAGED OR MISSING DOOR STOPS. MATCH EXISTING.
11. PAINT EXTERIOR SIDE OF COOLER AND FREEZER DOORS AND PANELS PER DECOR DRAWINGS. PAINT AND ADJUST ALL EXISTING HANDRAILS AS REQUIRED TO MEET ADA AND TAS STANDARDS.
12. PAINT ALL INTERIOR COLUMNS. PROVIDE NEW WEATHER-STOPPING AND DOOR SWEEP AT ALL EXTERIOR DOORS.
13. G.C. TO INSTALL NEW DECOR PACKAGE. WALL PROTECTION AT HOOCS; PROVIDE 22 GA. 0.031 INCH STAINLESS STEEL WALL COVERING WITH #4 FINISH ON WALLS UNDER HOODS PER CROSSER. DESIGN DIRECTIVES AND SPECS.
14. PAINT ROCKET INSPECTION LINE IN BACK OF STORE WITH WHITE PAINT PT003, 12" FROM BACK ROOM WALLS. LOCATIONS TO BE DETERMINED BY KROGER P.M.

KEYED NOTE LEGEND

- ◇ GENERAL KEYNOTE
 - DOOR KEYNOTE. REFER DOOR SCHEDULE ON A6.1
 - HALL TYPE KEYNOTE. REFER TO A3.2.1
 - ROOM NAME
 - ▨ ROOM FINISH KEYNOTE. REFER TO A6.1
- NEW PLUMBING FIXTURE. REF. PLUMBING DRAWINGS
- ◇ NEW WALLS. REFER TO A3.2.1 FOR WALL TYPE.
 - ◇ NEW PLUMBING FIXTURE. REF. PLUMBING DRAWINGS
 - ◇ NEW DOORS. REFER TO A3.2.1 FOR DOOR TYPES.
 - ◇ INSTALL NEW CORNER GUARDS AT REFRIGERATOR CASES PER FIXTURE PLAN AND ASD-160. KROGER TO PROVIDE G.C. TO INSTALL.
 - ◇ INSTALL NEW TOP COLLAR TURNING POST. REFER TO ASD-148. KROGER TO PROVIDE AND GC TO INSTALL.
 - ◇ INSTALL NEW PROTECTIVE POSTS. REFER TO ASD-144.
 - ◇ SANITIZER AND HOSE CABINET
 - ◇ 2 LEVER SPRAY DOWN PROPORTIONER (VENDOR SUPPLY)
 - ◇ PATCH/REPAIR COVE BASE AT WALL INDICATED BY HATCHED AREA. REFER TO ASD-916 FOR DETAILS.
 - ◇ PER FIXTURE PLAN, INSTALL REMOVABLE PROTECTIVE POSTS IN SALES AREA - CORE DRILL SLAB FOR SLEEVE AND POST PER MANUFACTURER. KROGER TO PROVIDE G.C. TO INSTALL. COORDINATE FINAL LOCATION WITH KROGER P.M.
 - ◇ INSTALL NEW STAINLESS STEEL WATER CUT OFF FLASHING AROUND FIXTURE. REFER TO 6150-14 FOR DETAILS.
 - ◇ PATCH/REPAIR ANY DAMAGE FROM HALL GRIN, OR FIXTURE DEMOLITION. FLOOR FINISH TO MATCH SALES.
 - ◇ REPLACE ALL EXISTING SQUARE COLUMN WRAPS THROUGHOUT SALES. SEE ASD-151.



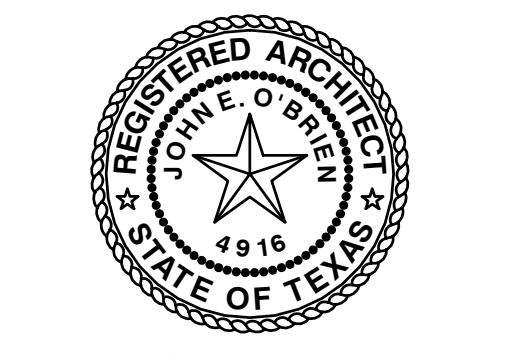
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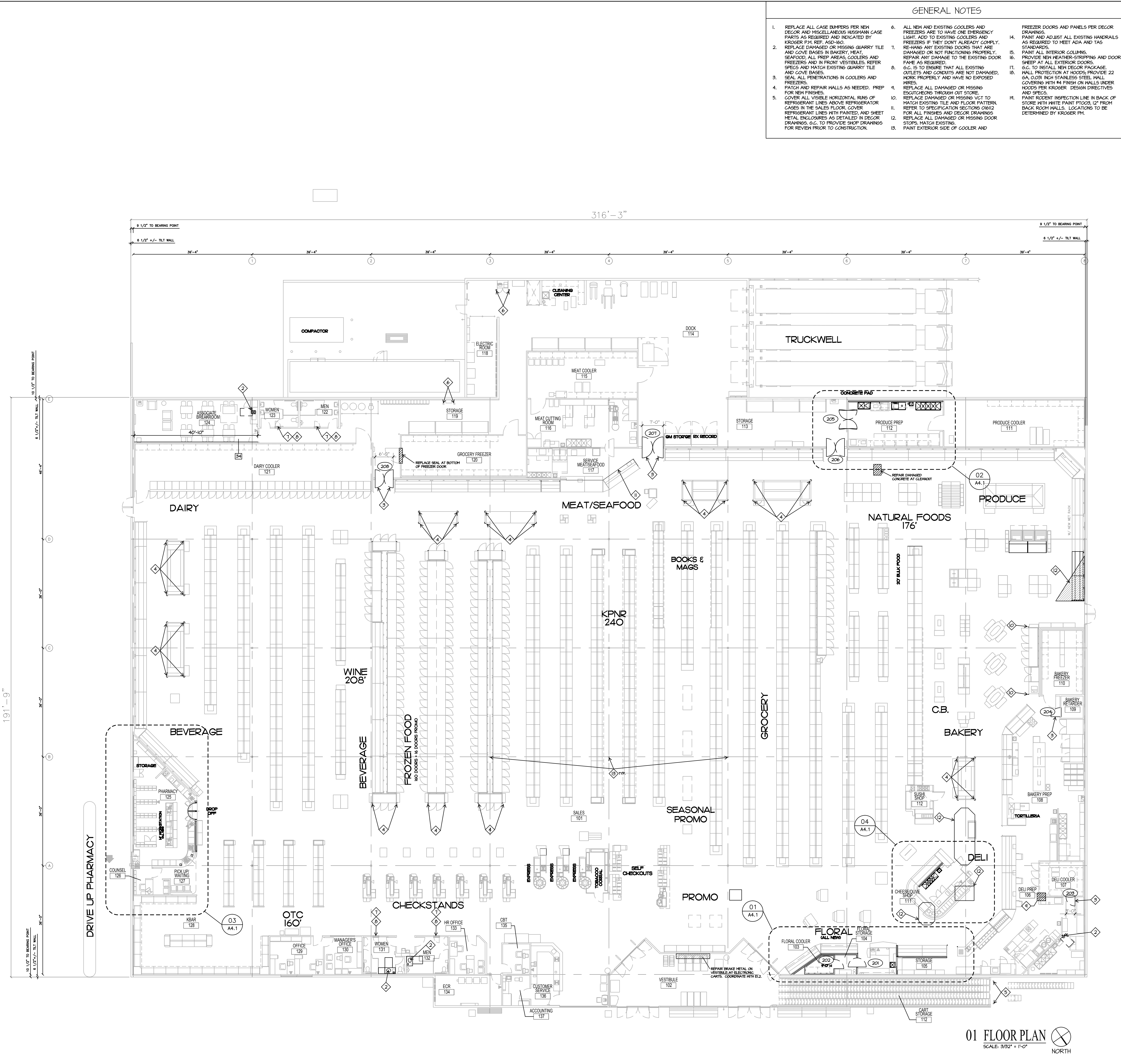


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DATE: 11.06.2012 JOB: 12007 SCALE: 3/32" = 1'-0"

SHEET NO.

A1.1
FLOOR PLAN

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01 FLOOR PLAN
SCALE: 3/32" = 1'-0"
NORTH

REFERENCE MEP DRAWINGS FOR ALL NEW AND DEMO LIGHTING

GENERAL NOTES

- PATCH AND REPAIR CEILING GRID, TILES, AND HEADWALLS WHERE EXISTING DECOR HAS BEEN REMOVED.
- REPLACE ALL DAMAGED, DISCOLORED, OR MISSING CEILING TILES.
- CLEAN CEILING DIFFUSERS IN ENTIRE STORE.
- REPLACE ALL DAMAGED, DISCOLORED, OR BROKEN LIGHT FIXTURE LENSES ON SALES FLOOR, PREP AREAS, AND RESTROOMS.
- PAINT ALL LIGHT FIXTURES LOCATED ON TOP OF HUSBAN GASES TO MATCH NEW DECOR COLOR.
- FIX OR REPLACE ANY DAMAGED ESCUTCHEONS AT SPRINKLER HEADS.
- ALL PREP AREAS MUST HAVE TYPE 3 WASHABLE TILES, REF. SPEC.
- REFER TO ELECTRICAL SHEETS AND DECOR SHEETS FOR LIGHT LAYOUT AND CEILING DECOR ELEMENTS.
- CLEAN AIR DIFFUSERS, CEILING IN PREP AREAS AND REPLACE DAMAGED OR DISCOLORED CEILING TILES.
- REPLACE ALL CRACKED SOFFIT LIGHTS AND CLEAN THE REST OF EX655 AND DEBRIS.

KEYED NOTES

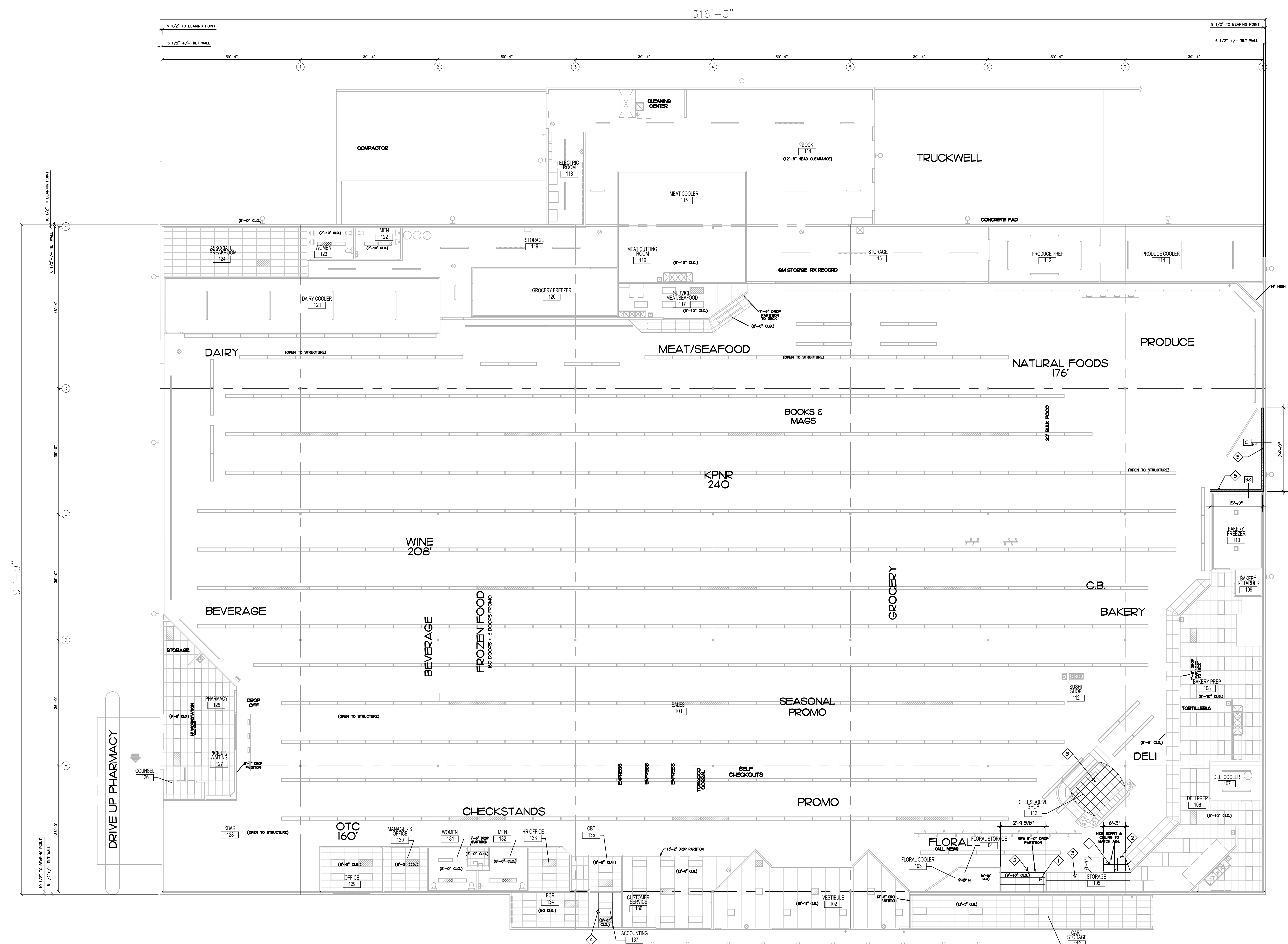
- 1 NEW CEILING TILES AND GRID
- 2 NEW DROP PARTITION, PAINT TO MATCH EXISTING. SEE A3.2.1 / 21
- 3 NEW TYPE 3 WASHABLE CEILING TILES AT ALL PREP AREAS, REF. SPEC.
- 4 NEW CEILING TILES ONLY EXISTING GRID TO REMAIN
- 5 6/8" TO VERIFY WALL CONDITION ABOVE DEMOLISHED CEILING. EXTEND FRAMING AND GYP BOARD AS REQUIRED AS A RESULT OF RAISED CEILING IN SALES. REFER TO A3.2.1 FOR REFERENCED WALL TYPES.



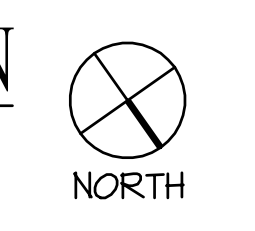
KROGER
SW-585
WITHIN THE WALLS
REMODEL
1101 FLOWER MOUND RD.
FLOWER MOUND, TX
A DEVELOPMENT OF:
KROGER

ISSUE LOG

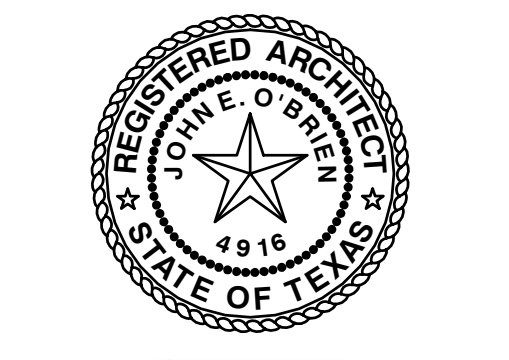
NO.	DESCRIPTION	DATE
1	ISSUED FOR BID	11.24.2012



01 REFLECTED CEILING PLAN
SCALE: 3/32" = 1'-0"



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SUITE 136
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972.788.1010
www.obrienarch.com



JOHN O'BRIEN - ARCHITECT
REGISTRATION NO. 4916
DATE: 11.06.2012 JOB: 12007 SCALE: 3/32" = 1'-0"

SHEET NO.

A1.3
REFLECTED CEILING PLAN

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NO.	DESCRIPTION	DATE
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JOHN O'BRIEN - ARCHITECT
REGISTRATION NO. 4916

DATE: 11.06.2012 JOB: 2007 SCALE: 3/32" = 1'-0"

SHEET NO.

A3.2.1
WALL TYPES

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<p>NOTE: REF INTERIOR DECOR ELEVATIONS FOR DECOR HEIGHT. INSTALL FIRE BLOCKING AT AREAS WITH FINISH CEILING ONLY.</p> <p>WALL TYPE 1</p>	<p>NOTE: INSTALL FIRE BLOCKING AT AREAS WITH FINISH CEILING ONLY.</p> <p>WALL TYPE 2</p>	<p>NOT USED</p> <p>WALL TYPE 3</p>	<p>NOT USED</p> <p>WALL TYPE 4</p>	<p>NOT USED</p> <p>WALL TYPE 5</p>	<p>NOT USED</p> <p>WALL TYPE 6</p>	<p>NOT USED</p> <p>WALL TYPE 7</p>	<p>NOT USED</p> <p>WALL TYPE 8</p>
<p>NOT USED</p> <p>WALL TYPE 9</p>	<p>NOT USED</p> <p>WALL TYPE 10</p>	<p>NOT USED</p> <p>WALL TYPE 11</p>	<p>NOT USED</p> <p>WALL TYPE 12</p>	<p>NOT USED</p> <p>WALL TYPE 13</p>	<p>NOT USED</p> <p>WALL TYPE 14</p>	<p>NOT USED</p> <p>WALL TYPE 15</p>	<p>NOT USED</p> <p>WALL TYPE 16</p>
<p>NOT USED</p> <p>WALL TYPE 17</p>	<p>NOT USED</p> <p>WALL TYPE 18</p>	<p>NOT USED</p> <p>WALL TYPE 19</p>	<p>NOT USED</p> <p>WALL TYPE 20</p>	<p>NOT USED</p> <p>WALL TYPE 21</p>	<p>NOT USED</p> <p>WALL TYPE 22</p>	<p>NOT USED</p> <p>WALL TYPE 24</p>	
<p>NOT USED</p> <p>WALL TYPE 25</p>	<p>NOT USED</p> <p>WALL TYPE 26</p>	<p>NOT USED</p> <p>WALL TYPE 31</p>	<p>NOT USED</p> <p>WALL TYPE 32</p>	<p>NOT USED</p> <p>WALL TYPE 33</p>	<p>NOTE: INSTALL FIRE BLOCKING AT AREAS WITH FINISH CEILING ONLY.</p> <p>WALL TYPE 34</p>	<p>NOT USED</p> <p>WALL TYPE 35</p>	<p>NOT USED</p> <p>WALL TYPE 36</p>
<p>NOT USED</p> <p>WALL TYPE 37</p>	<p>NOTE: REF. AS 1 USE FOR FINISHING INFO OF WALL WHEN R/A DUCT IS SCHEDULED FOR INSTALLATION ON BACKROOM SIDE. REF. AS 10A FOR FINISHING INFO FOR WALL WHEN R/A DUCT IS SCHEDULED FOR INSTALL ON SALES AREA SIDE. REF. MECHANICAL DRAWINGS FOR R/A DUCT INFORMATION.</p> <p>WALL TYPE 38</p>	<p>NOT USED</p> <p>WALL TYPE 39</p>	<p>NOT USED</p> <p>WALL TYPE 40</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> GYPSUM BOARD: TYPICAL 1/2" GYP. BOARD USED UNLESS NOTED OTHERWISE. 1/2" TYPE 'X' GYPSUM BOARD REQUIRED FOR FIRE RATED ASSEMBLIES OR REMODEL PROJECTS WHERE EXISTING 5/8" GYPSUM BOARD IS IN PLACE. MOISTURE RESISTANT GYPSUM BOARD: 1/2" THICK TO BE USED UNLESS NOTED OTHERWISE. CEMENT BOARD: 1/2" UNLESS NOTED OTHERWISE. METAL STUDS: STANDARD DEPTH TO BE 3 1/2" UNLESS NOTED OTHERWISE. REFER TO SPECIFICATIONS FOR SPACING AND GAUGE. BRACING AT COOLER/FREEZER: FULL HEIGHT WALLS BUILT ALONG COOLER/FREEZER PANELS SHOULD BE BRACED AT ROOF PANELS TO UTILIZE STANDARD DEPTH METAL STUD. FIRE BLOCKING - PER SPEC. LOADING AND DEFLECTION FRAMING SYSTEM ISOLATION - PER SPEC / DETAILS FLOOR FINISH AND BASE: REFER TO INTERIOR DECOR PLANS & ROOM FINISH SCHEDULE FINISHED CEILING: EXTEND GYP. 80" IF ABOVE CEILING. METAL STUDS DO NOT NEED TO EXTEND TO DECK (UNLESS) IF BRACED BACK TO STRUCTURE ABOVE AT 48" O.C. MAX. GYPSUM BOARD IN PHARMACY GRILLE: INSTALL GYPSUM BOARD AS FAR AS POSSIBLE IN POCKET WALL FOR PHARMACY GRILLE. 	<p>WALL NOMENCLATURE</p> <p>WALL TYPE BOX - WALL TYPE ID</p> <p>METAL STUD WIDTH (NOTED LEFT OR RIGHT OF WALL ID BOX):</p> <ul style="list-style-type: none"> 3 1/2" - METAL STUD WIDTH - STANDARD DEPTH 6" - METAL STUD USED IN ASSEMBLY <p>WALL HEIGHT (NOTED ABOVE OR BELOW WALL ID BOX):</p> <ul style="list-style-type: none"> 10' - EXTEND ASSEMBLY TO DECK (UNLESS NOTED OTHERWISE) 8' - EXTEND ASSEMBLY SHOWN DISTANCE ABOVE FINISH FLOOR <p>EXAMPLE:</p> <p>WALL TYPE BOX - 8 6 - METAL STUD WIDTH</p> <p>WALL HEIGHT</p>		

GENERAL NOTES

1. REPLACE ALL GASE BAMPERS PER NEW DECOR AND MISCELLANEOUS MISSEMAN GASE PARTS AS REQUIRED AND INDICATED BY KROGER P.M. REF. ASD-160.
2. REPLACE DAMAGED OR MISSING QUARRY TILE AND COVE BASES IN BAKERY, MEAT, SEAFOOD, ALL PREP AREAS, COOLERS AND FREEZERS AND IN FRONT VESTIBLES. REFER SPECS AND MATCH EXISTING QUARRY TILE AND COVE BASES.
3. SEAL ALL PENETRATIONS IN COOLERS AND FREEZERS.
4. PATCH AND REPAIR WALLS AS NEEDED. PREP FOR NEW FINISHES.
5. COVER ALL VISIBLE HORIZONTAL RING OF REFRIGERANT LINES ABOVE REFRIGERATOR GASES IN THE SALES FLOOR. COVER REFRIGERANT LINES WITH PAINTED AND SHEET METAL ENCLOSURES AS DETAILED IN DECOR DRAWINGS. G.G. TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.
6. ALL NEW AND EXISTING COOLERS AND FREEZERS ARE TO HAVE ONE EMERGENCY LIGHT. ADD TO EXISTING COOLERS AND FREEZERS IF THEY DON'T ALREADY COMPLY. RE-HANG ANY EXISTING LIGHTS THAT ARE DAMAGED OR NOT FUNCTIONING PROPERLY. REPAIR ANY DAMAGE TO THE EXISTING DOOR FRAME AS REQUIRED.
7. G.G. IS TO ENSURE THAT ALL EXISTING OUTLETS AND CONDUITS ARE NOT DAMAGED, WORK PROPERLY AND HAVE NO EXPOSED WIRES.
8. REPLACE ALL DAMAGED OR MISSING ESCUTCHEONS THROUGH OUT STORE.
9. REPLACE DAMAGED OR MISSING VGT TO MATCH EXISTING TILE AND FLOOR PATTERN.
10. REFER TO SPECIFICATION SECTIONS 06112 FOR ALL FINISHES AND DECOR DRAWINGS.
11. REPLACE ALL DAMAGED OR MISSING DOOR STOPS. MATCH EXISTING.
12. PAINT EXTERIOR SIDE OF COOLER AND FREEZER DOORS AND PANELS PER DECOR DRAWINGS.
13. PAINT AND ADJUST ALL EXISTING HANDRAILS AS REQUIRED TO MEET ADA AND TAG STANDARDS.
14. PAINT ALL INTERIOR COLUMNS. PROVIDE NEW WEATHER-STOPPING AND DOOR SWEEP AT ALL EXTERIOR DOORS.
15. G.G. TO INSTALL NEW DECOR PACKAGE. WALL PROTECTION AT HOOCS; PROVIDE 22 GA, 0.031 INCH STAINLESS STEEL WALL COVERING WITH #4 FINISH ON WALLS UNDER HOOCS PER KROGER DESIGN DIRECTIVES AND SPECS.
16. PAINT ROCKET INSPECTION LINE IN BACK OF STORE WITH WHITE PAINT PT003, 12" FROM BACK ROOM WALLS. LOCATIONS TO BE DETERMINED BY KROGER P.M.

KEYED NOTE LEGEND

- ◇ GENERAL KEYNOTE
 - DOOR KEYNOTE. REFER DOOR SCHEDULE ON A6J
 - HALL TYPE KEYNOTE. REFER TO A3.2J
 - ROOM NAME
 - ROOM FINISH KEYNOTE. REFER TO A6J
- KEYED NOTES
- ◇ NEW WALLS. REFER TO A3.2J FOR WALL TYPE.
 - ◇ NEW PLUMBING FIXTURE. REF. PLUMBING DRAWINGS FOR DETAILS.
 - ◇ NEW DOORS. REFER TO DOOR AND FINISH SCHEDULE FOR DETAILS.
 - ◇ NEW WINDOW AND FRAME. REFER WINDOW SCHEDULE ON SHEET A6J.
 - ◇ QUARRY TILE. REFER FINISH SCHEDULE TO A6J AND ASD-10 FOR TRANSITION AND ASD-56C FOR BASE.
 - ◇ DEMO AND REMOVE EXISTING CARPET. POLISH CONCRETE TO MATCH EXISTING SALES FLOOR.
 - ◇ RELOCATE EXISTING PLUMBING FIXTURE. REF. PLUMBING DRAWINGS AND ADJ.



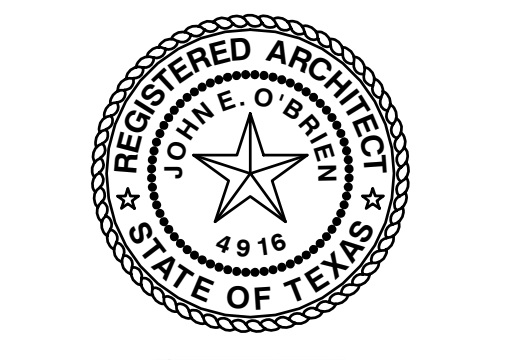
KROGER SW-585
WITHIN THE WALLS REMODEL
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ISSUE LOG

NO.	DESCRIPTION	DATE
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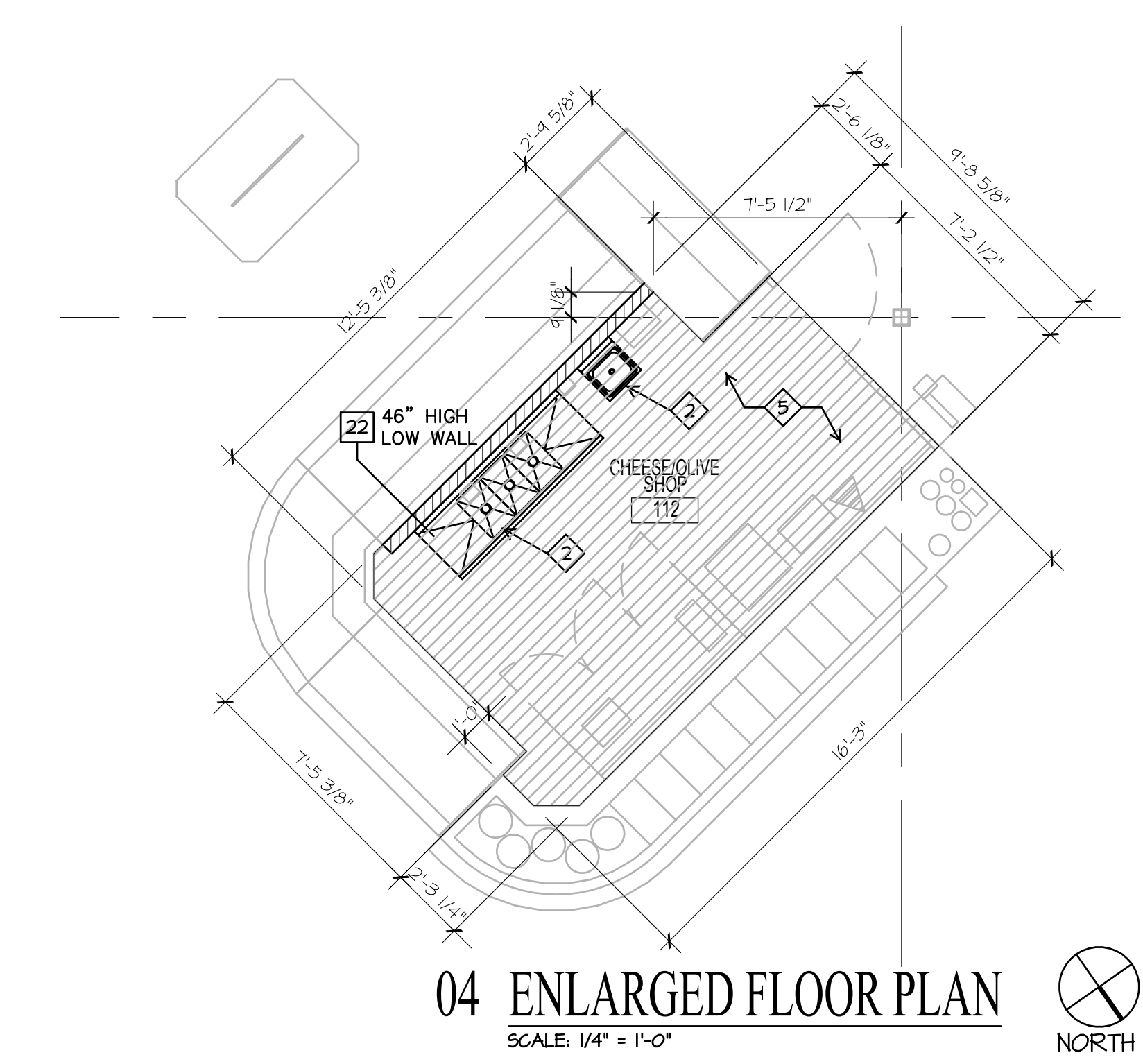
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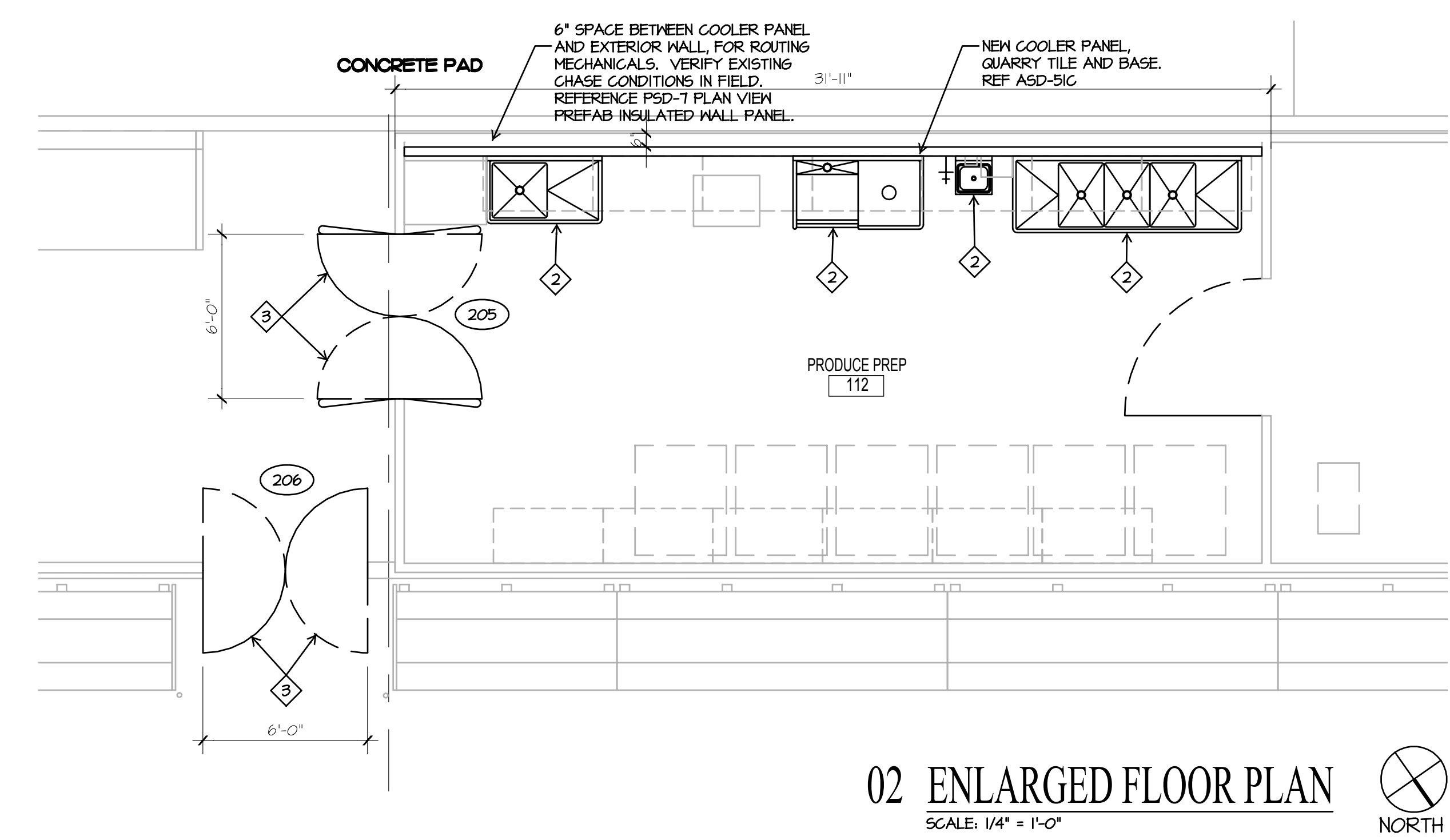
JOHN O'BRIEN - ARCHITECT
 REGISTRATION NO. 4916
 DATE: 11.08.2012 JOB: 12007 SCALE: 3/32" = 1'-0"

SHEET NO.
A4.1
 ENLARGED FLOOR PLAN

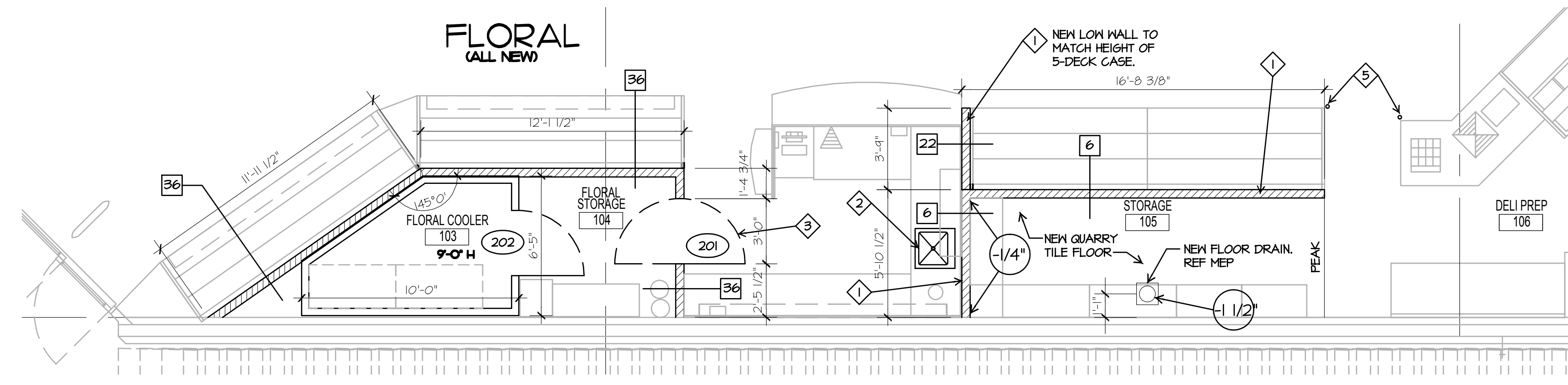
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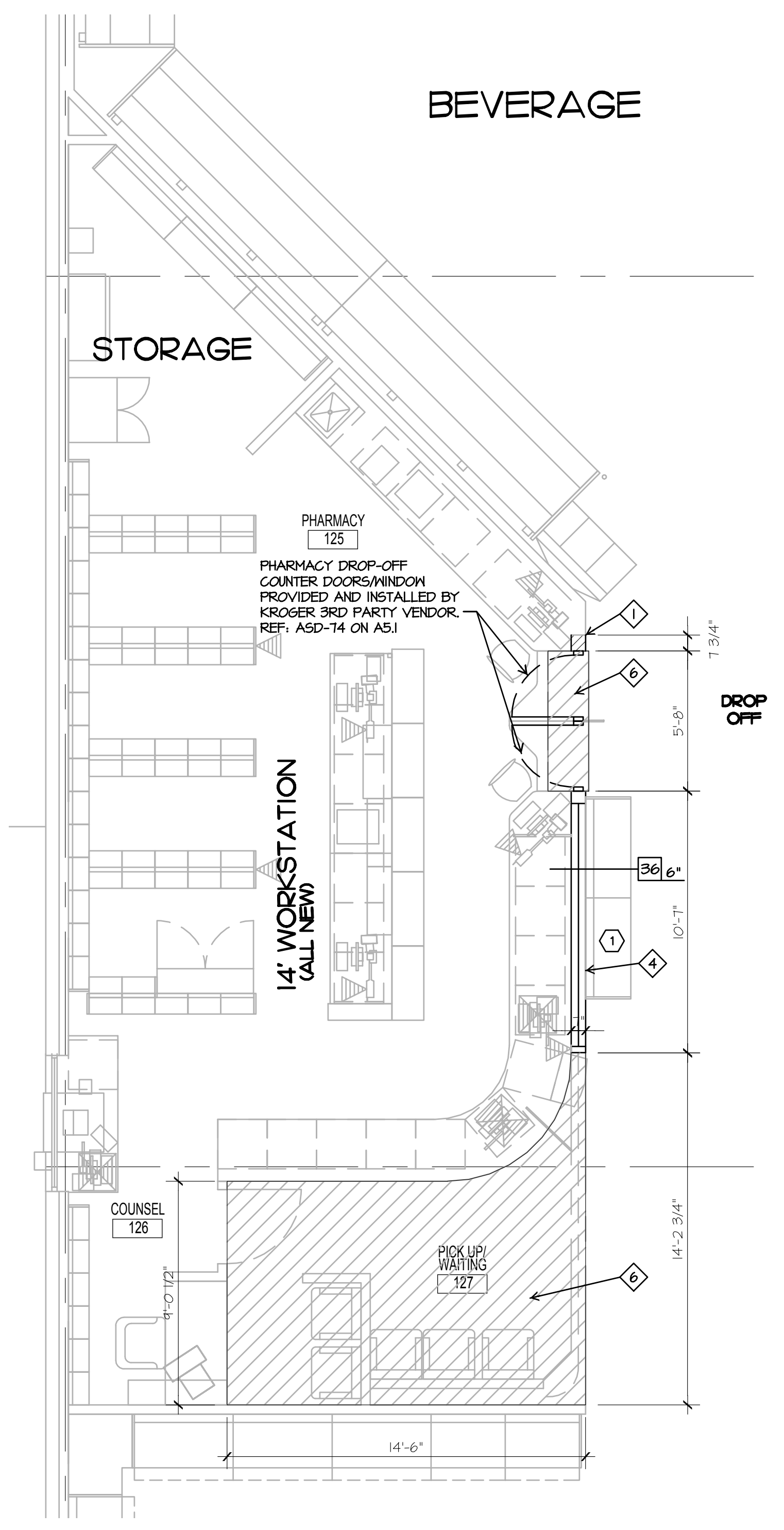
04 ENLARGED FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



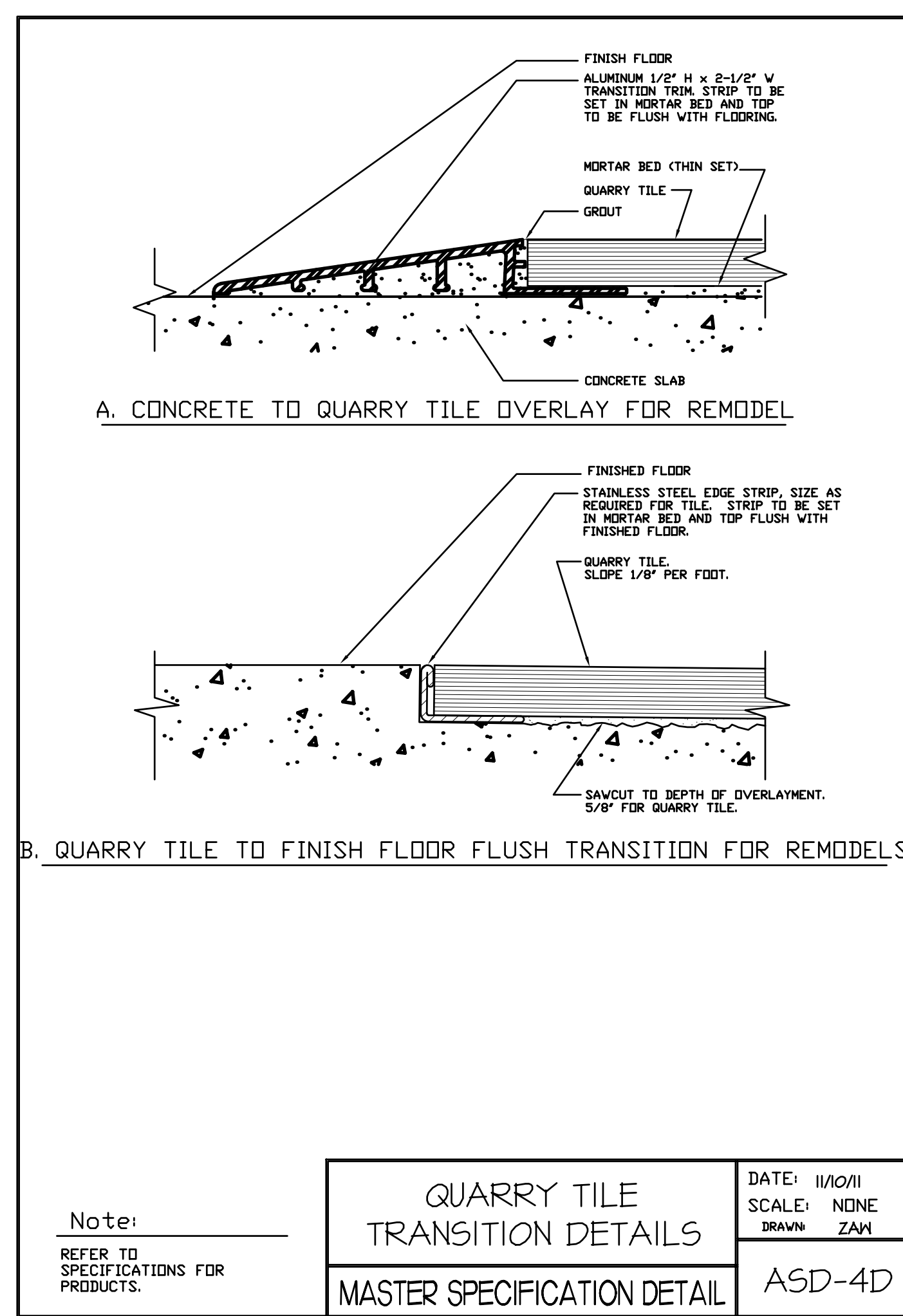
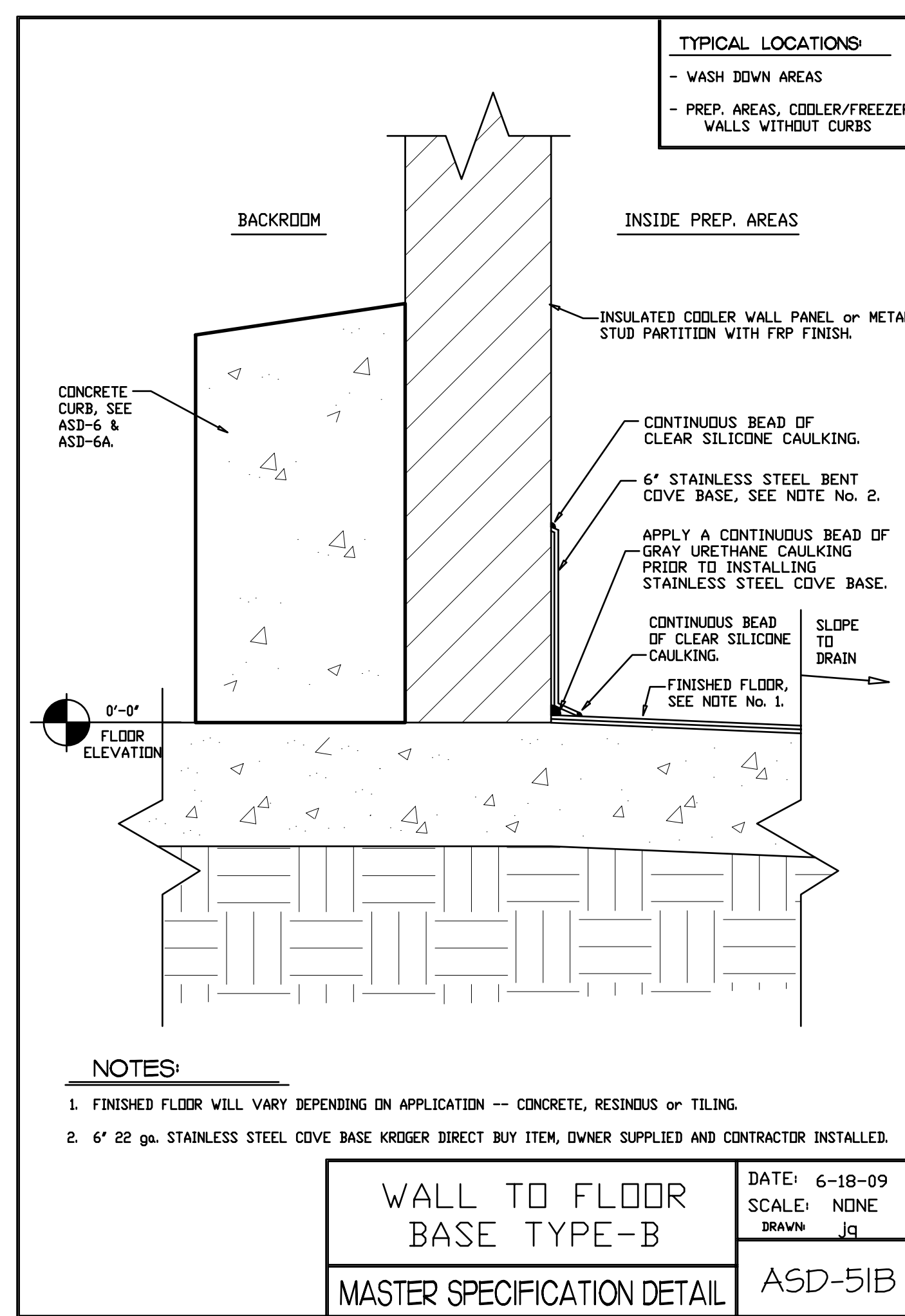
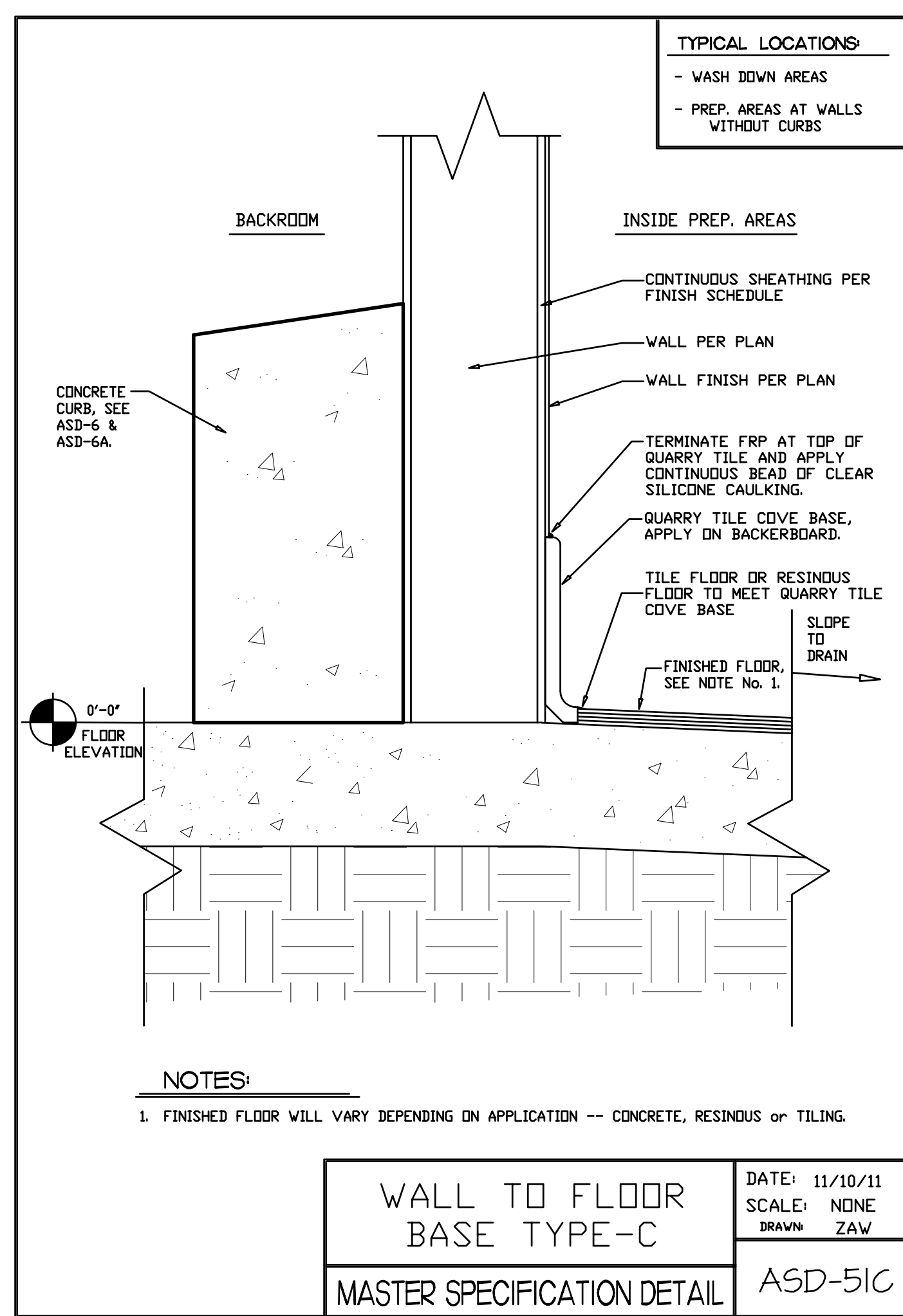
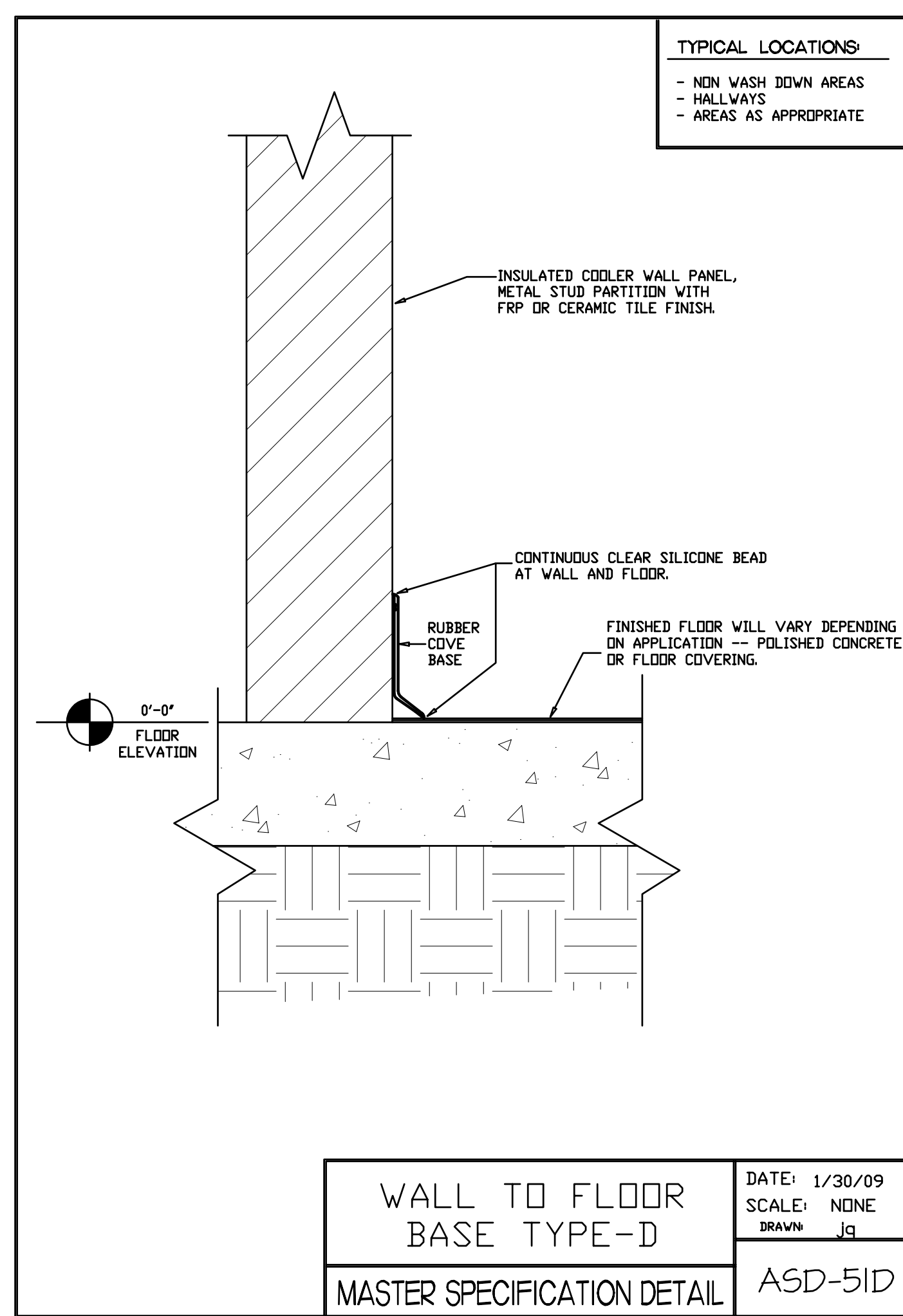
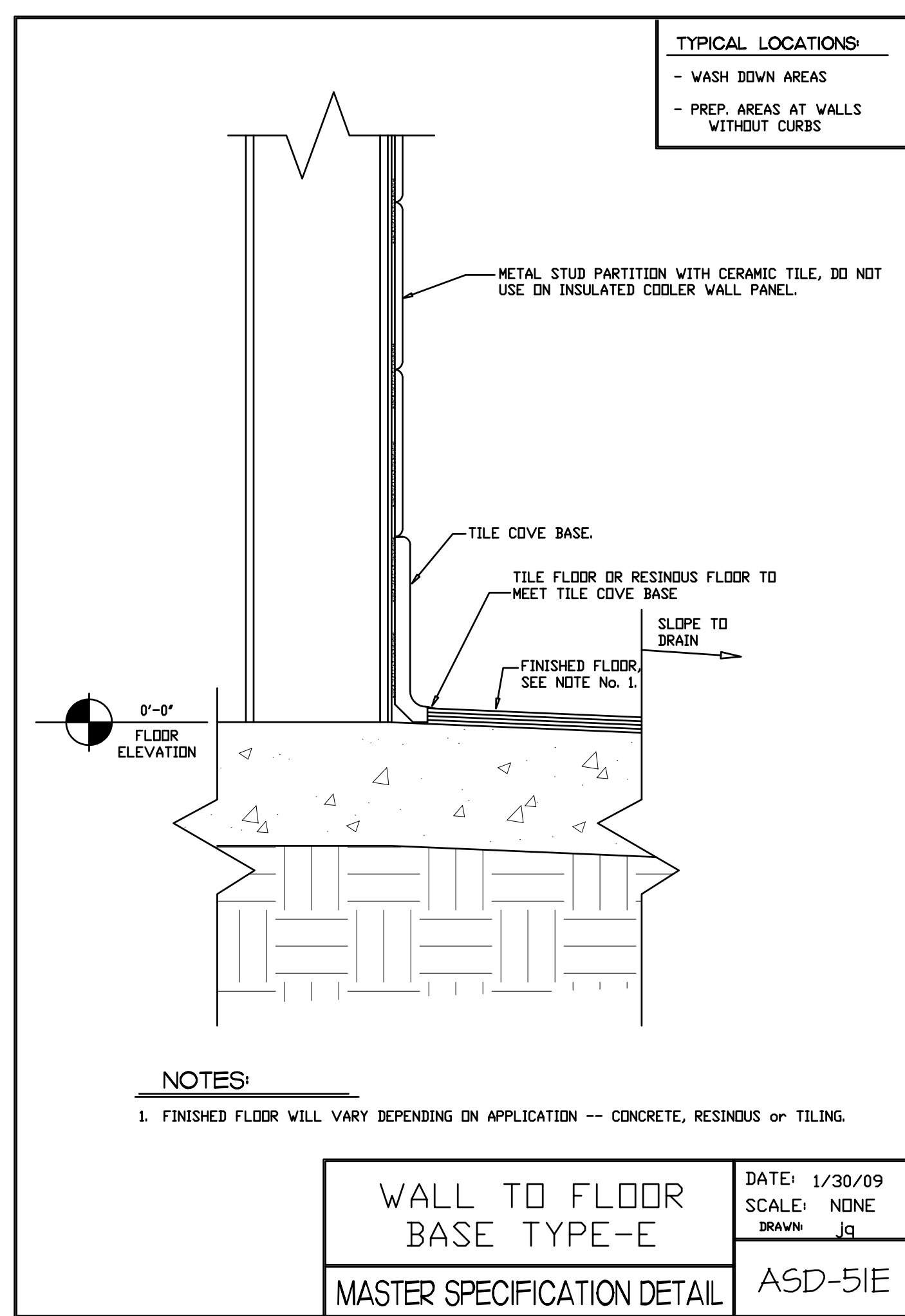
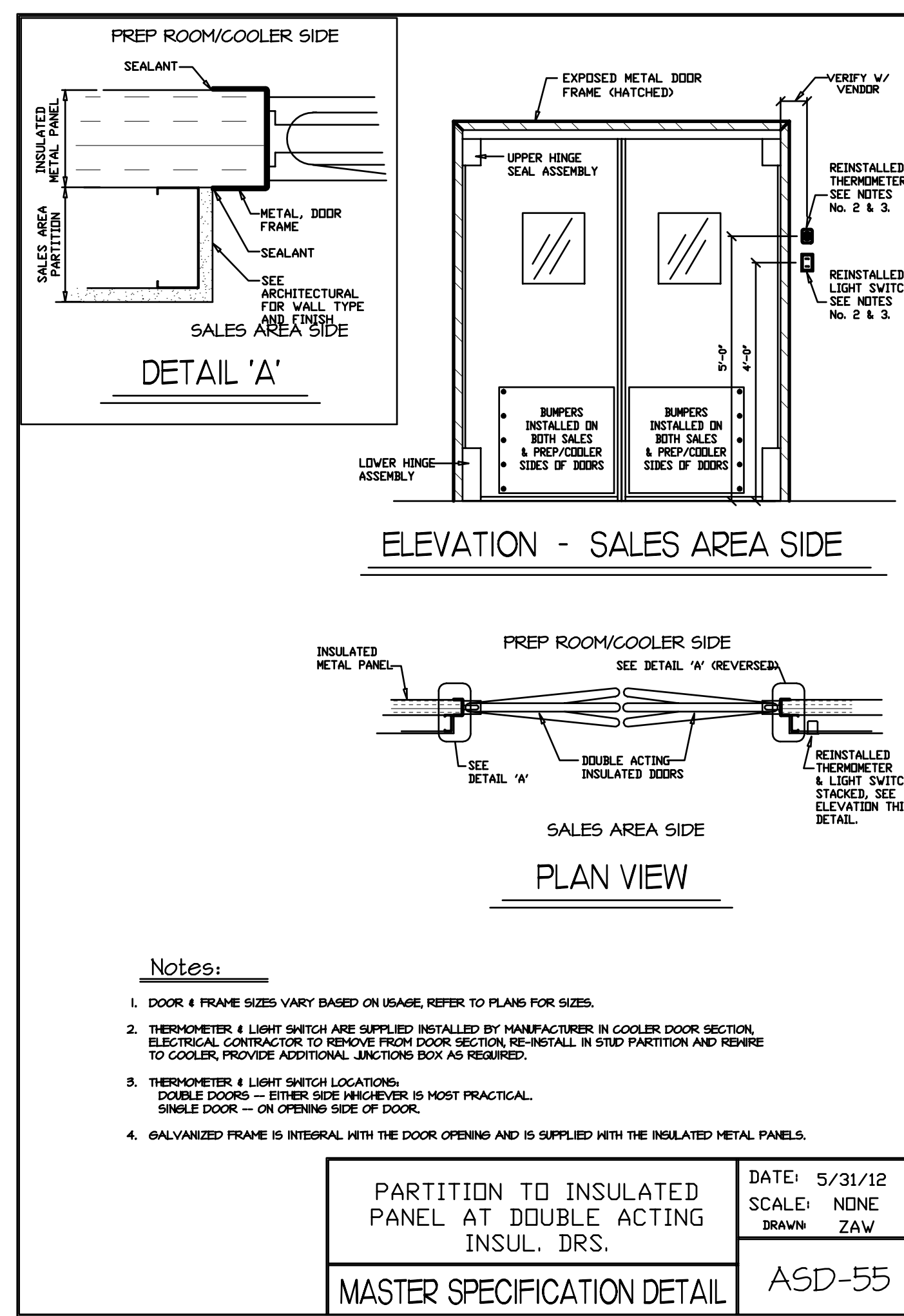
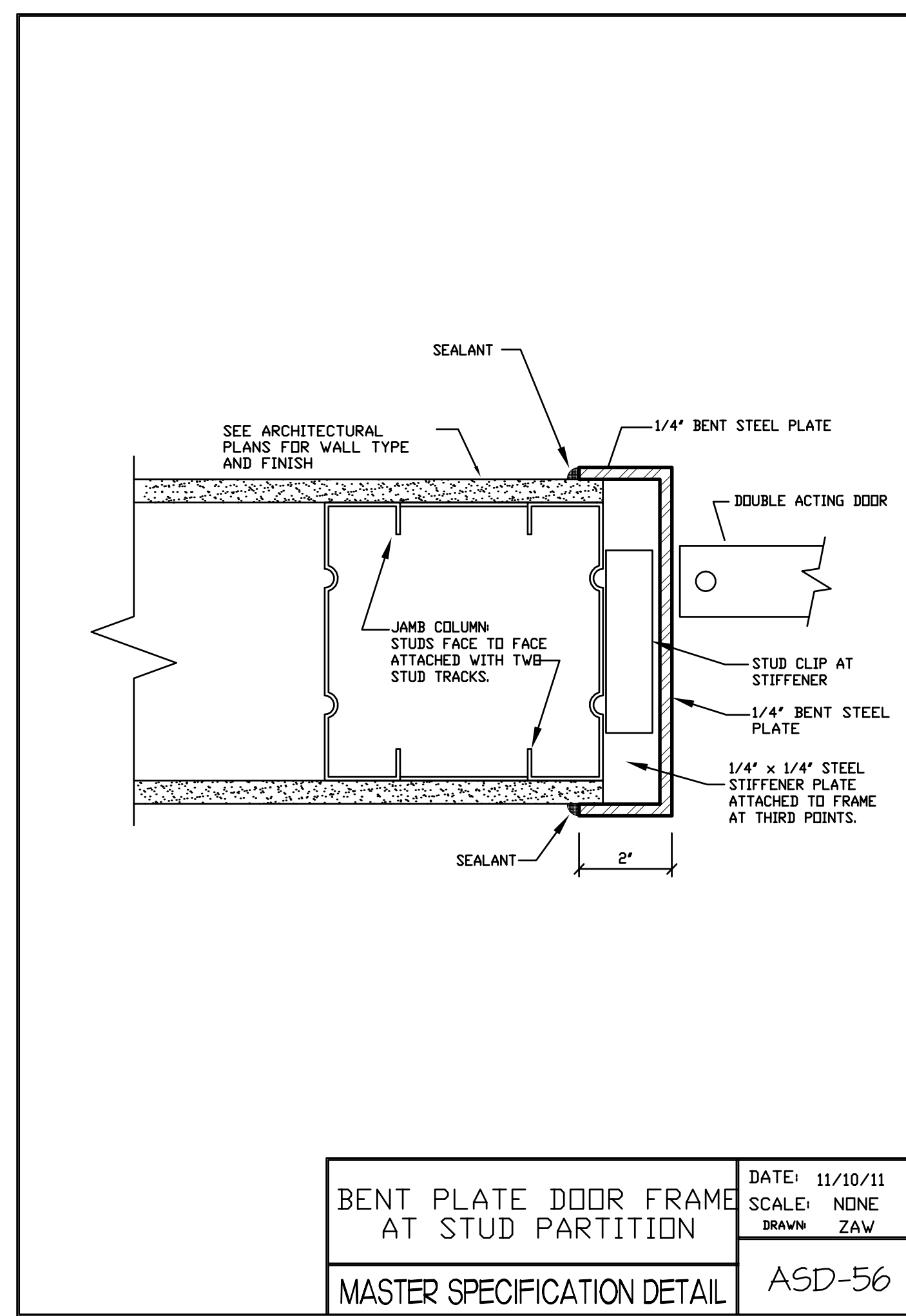
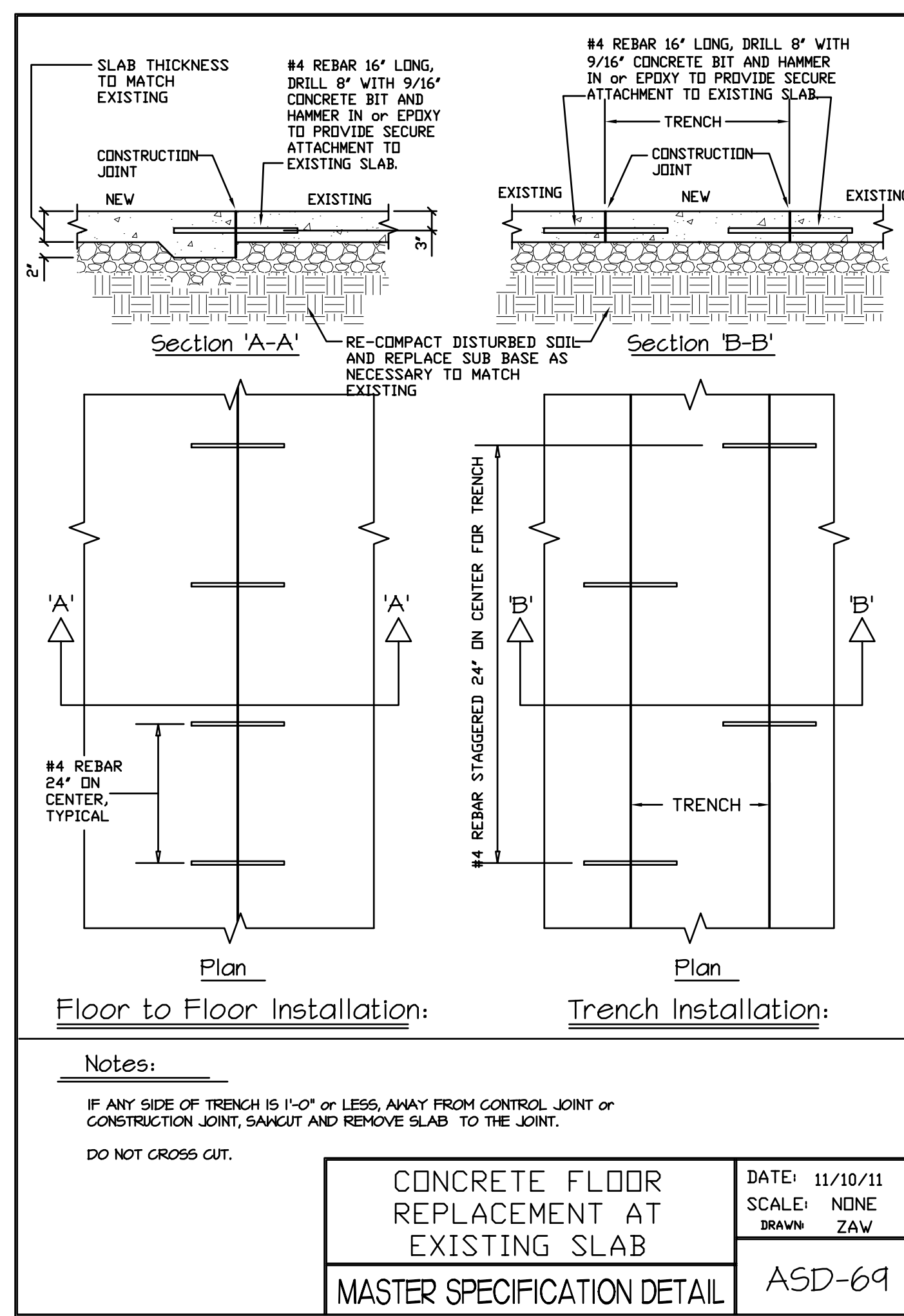
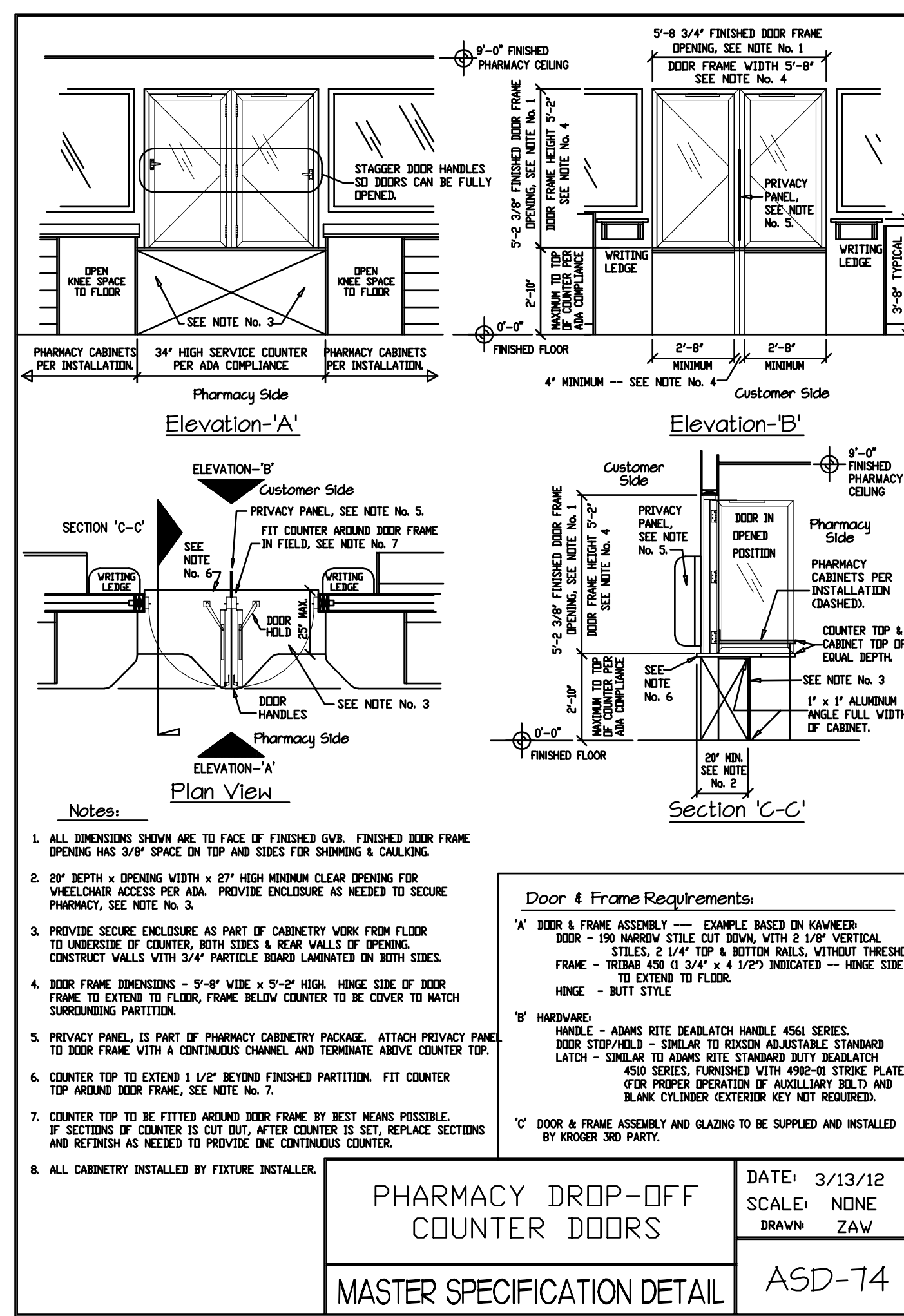
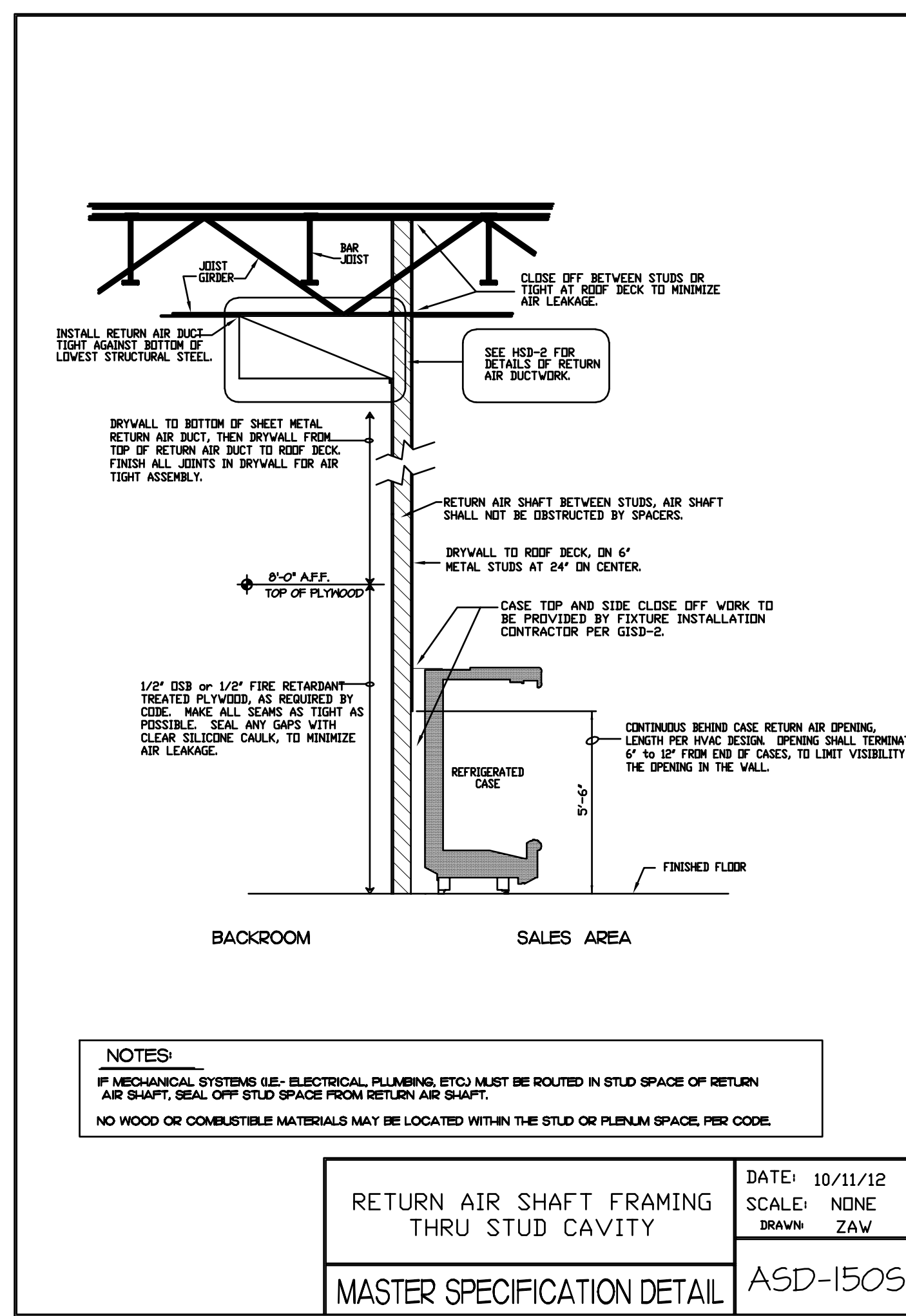
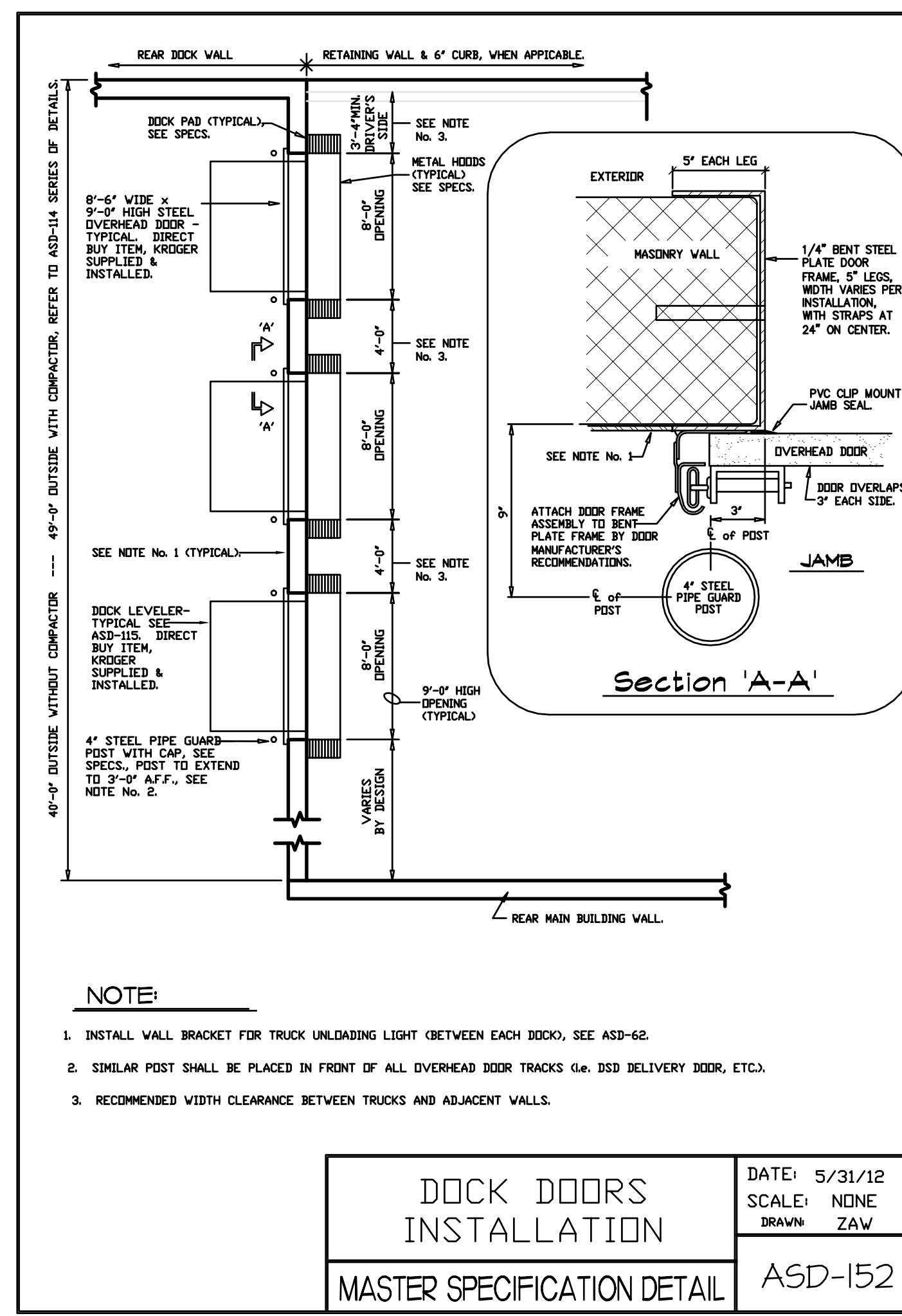
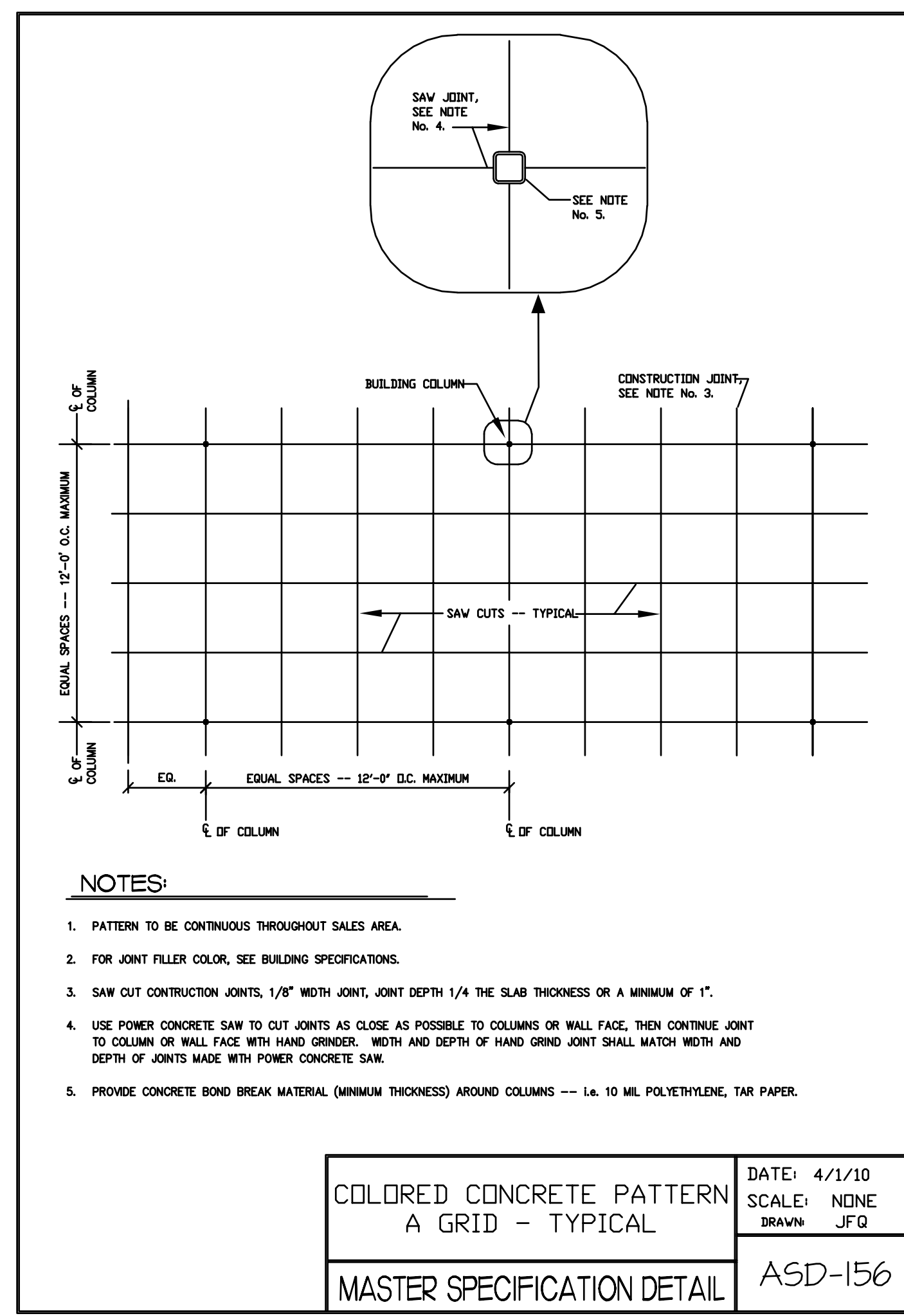
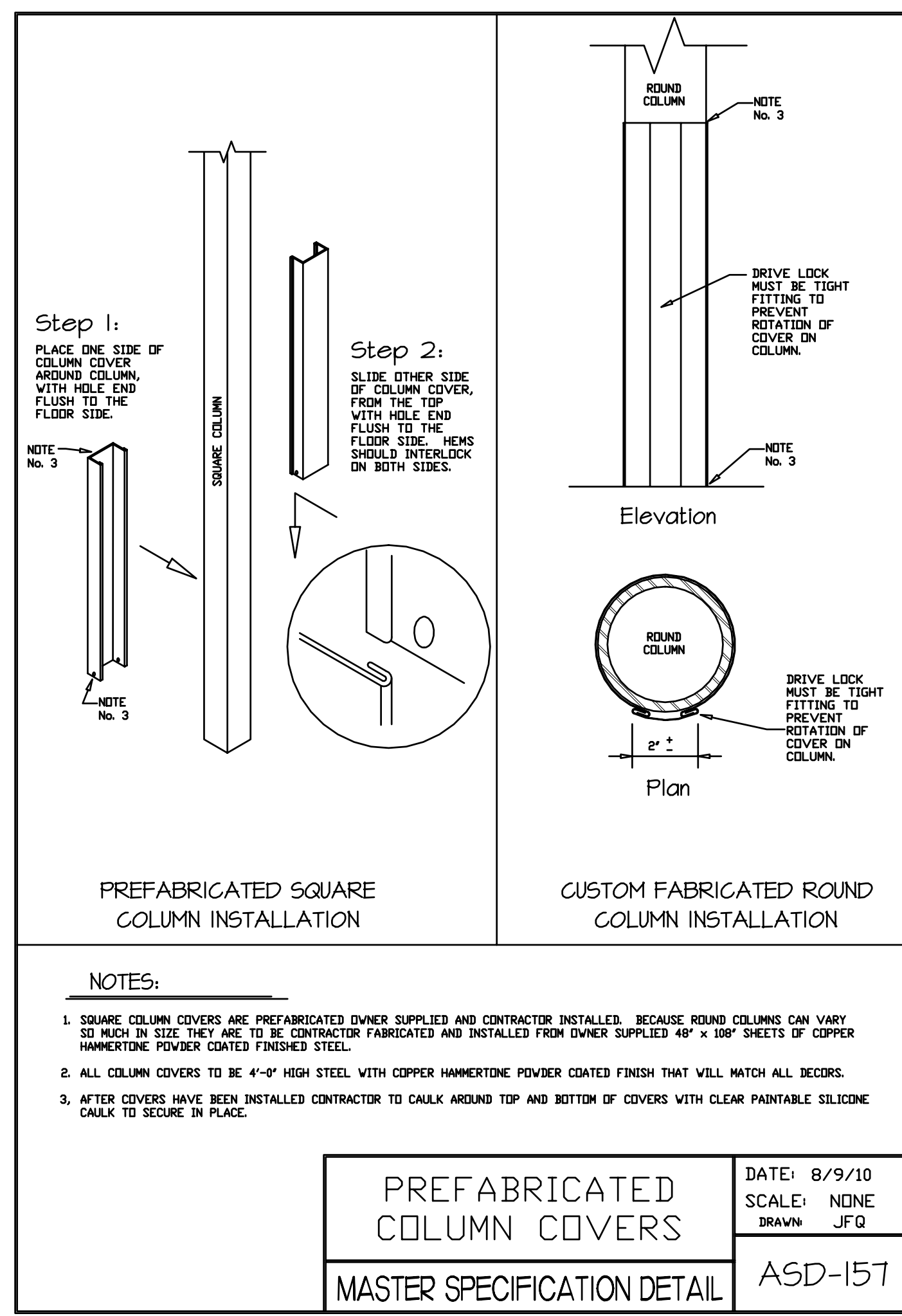
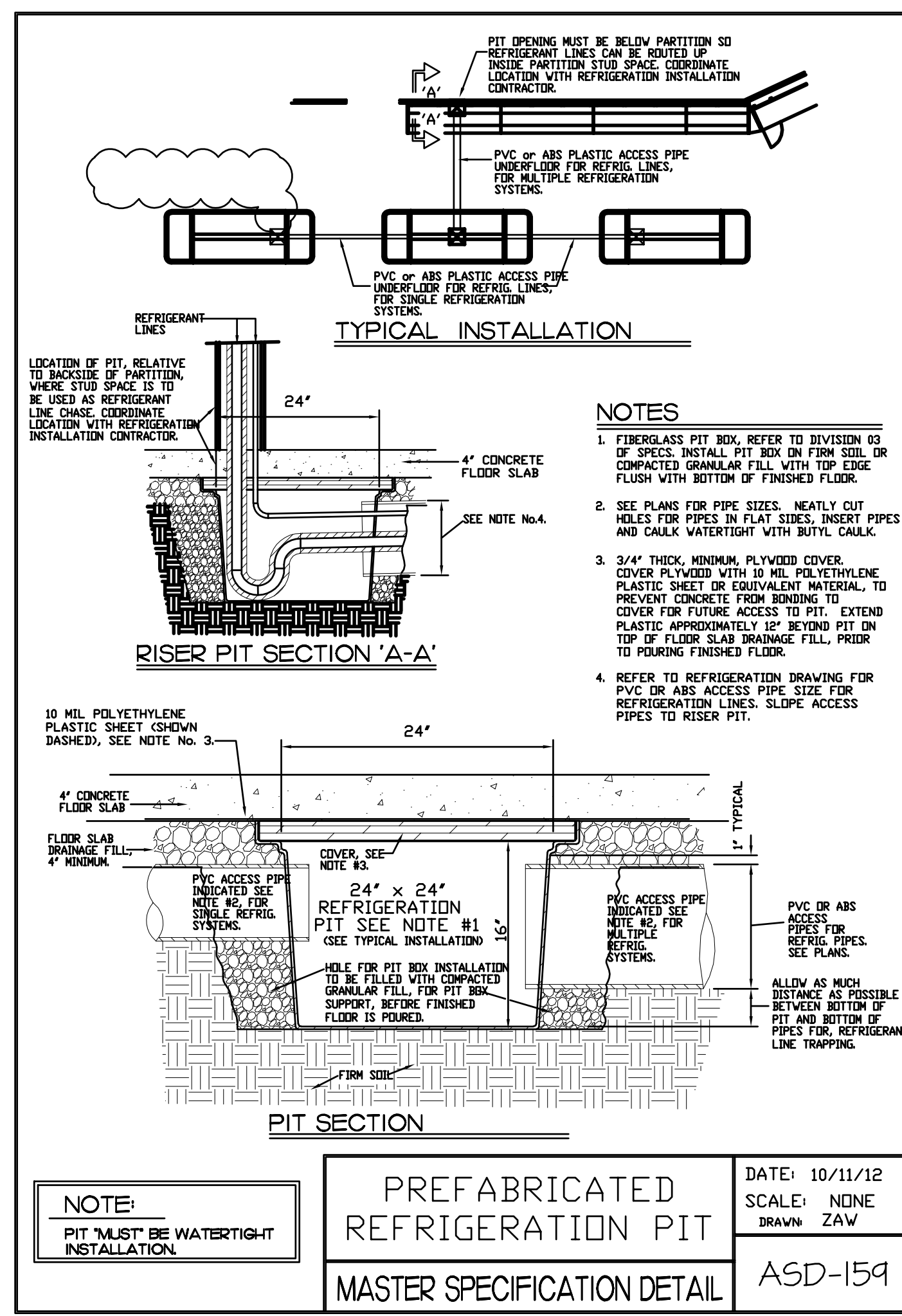
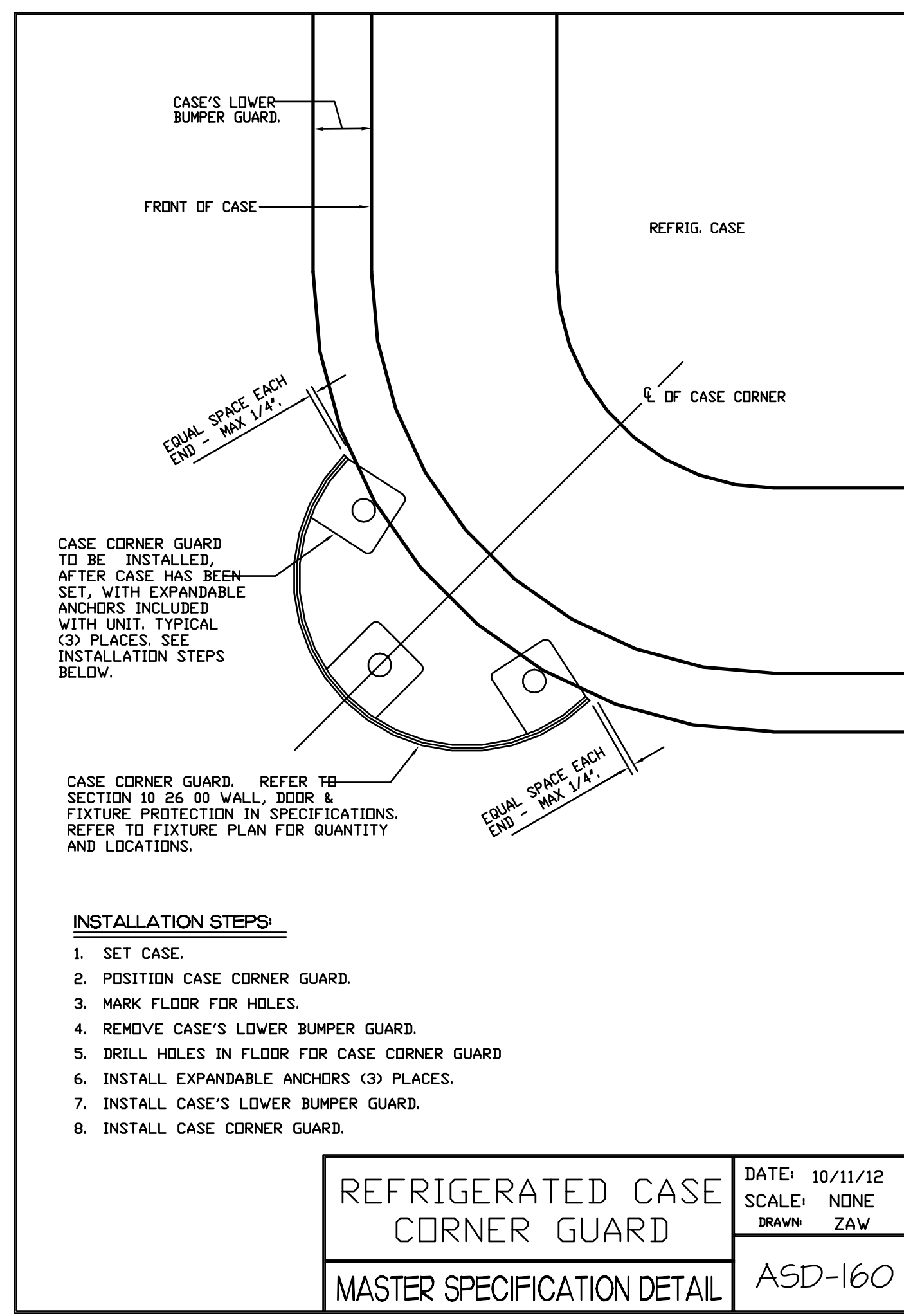
02 ENLARGED FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



01 ENLARGED FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



03 ENLARGED FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



ISSUE LOG		
NO.	DESCRIPTION	DATE
1	ISSUED FOR BID	11.24.2012



REGISTERED ARCHITECT
JOHN O'BRIEN - ARCHITECT
REGISTRATION NO. 4916
DATE: 11.06.2012 JOB: 12007 SCALE:
SHEET NO.
A5.1
ARCHITECTURAL STANDARD DETAILS



KROGER SW-585

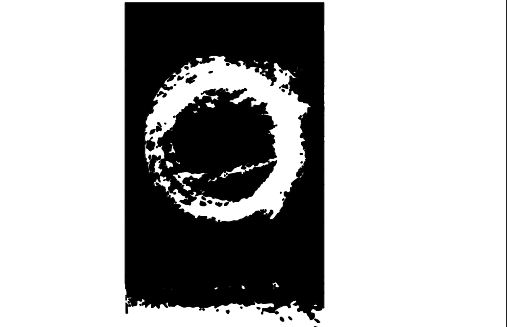
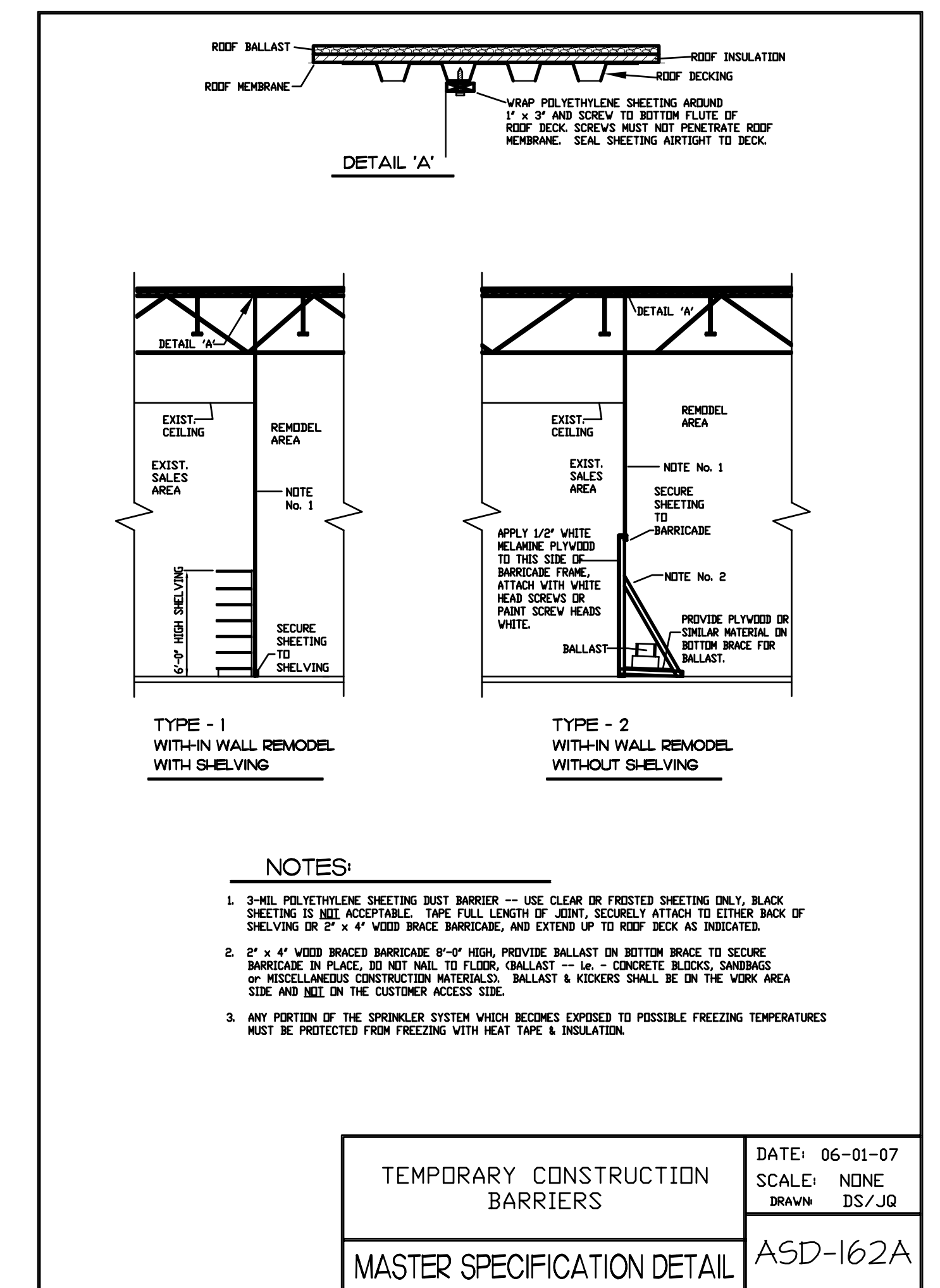
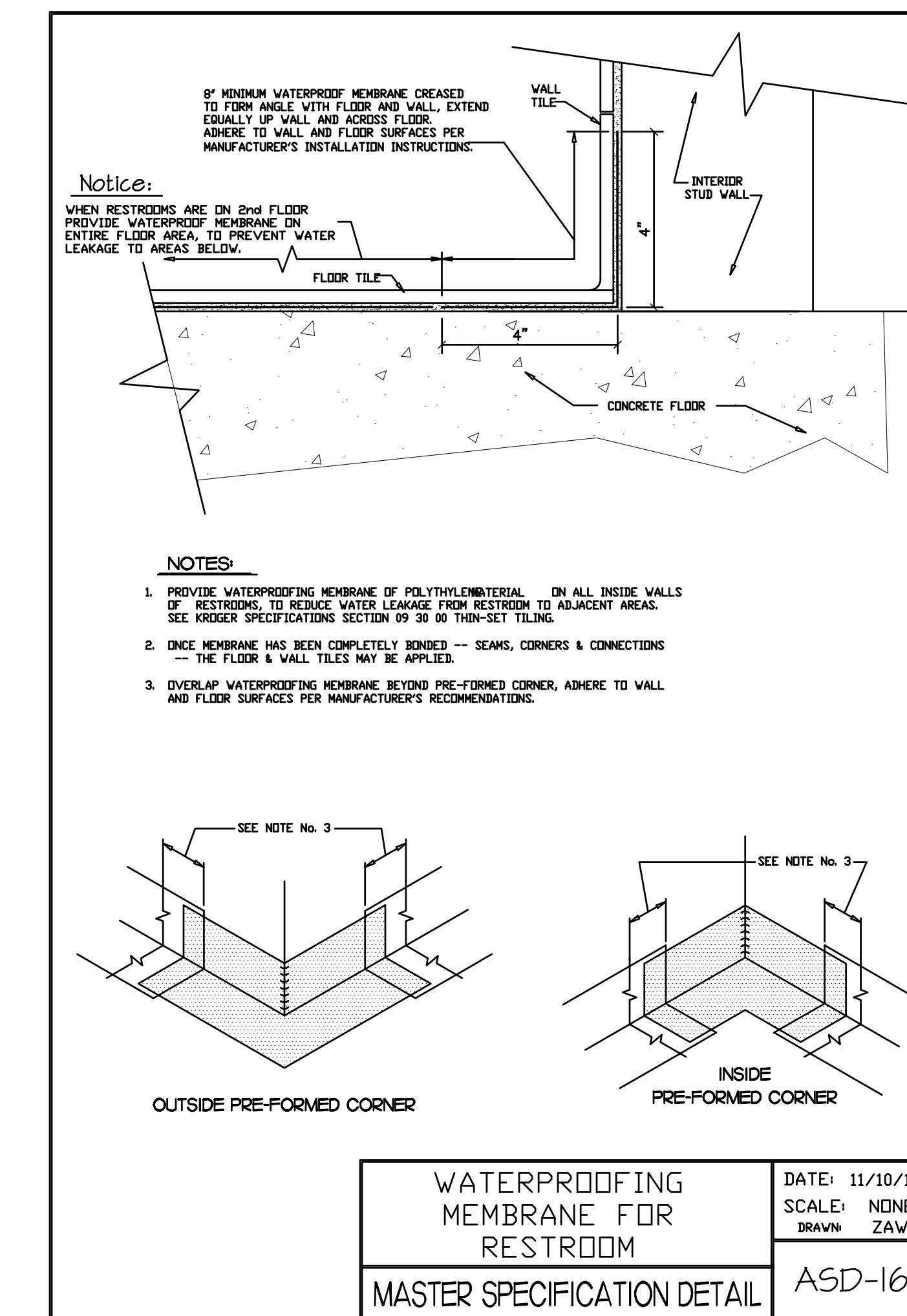
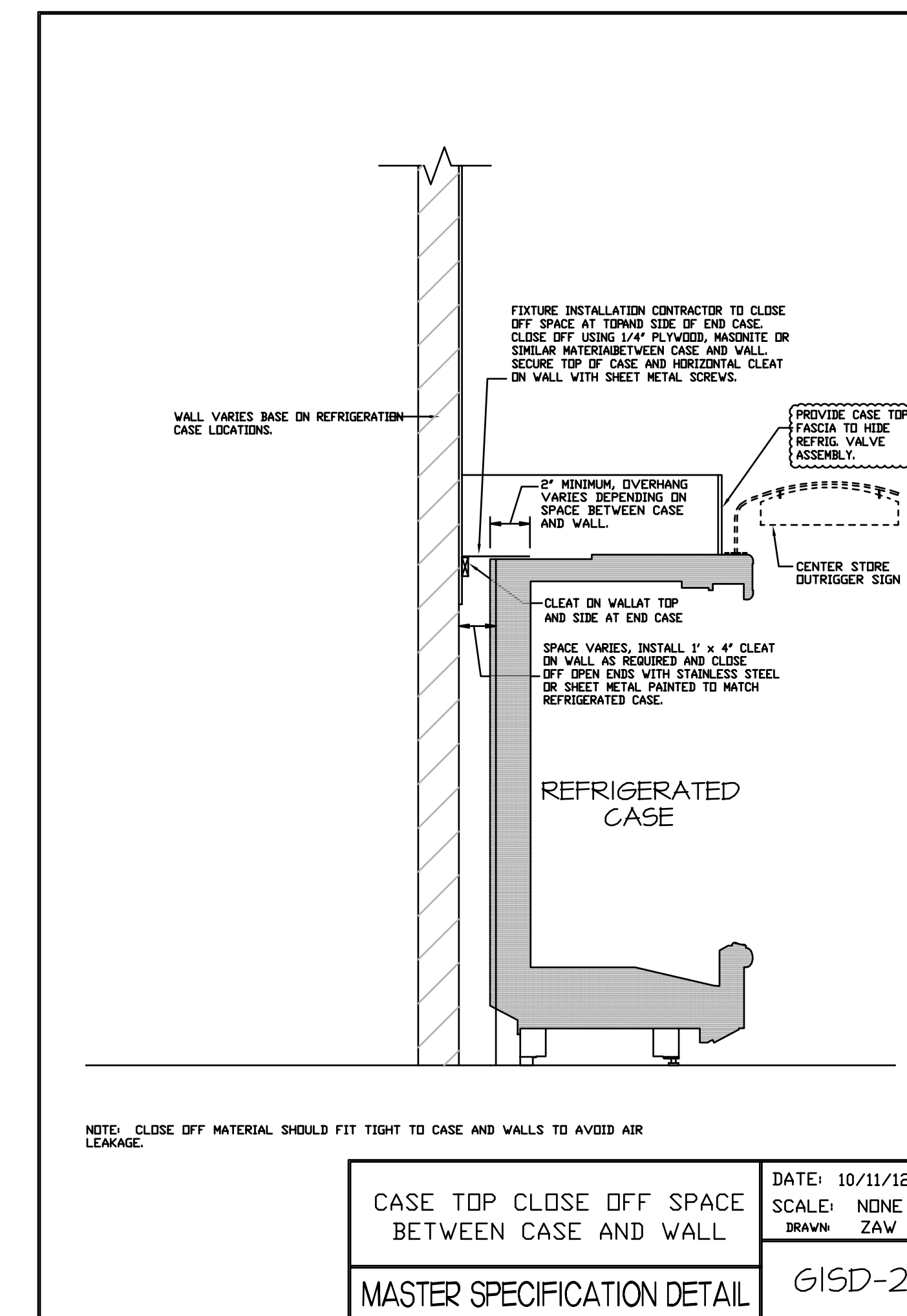
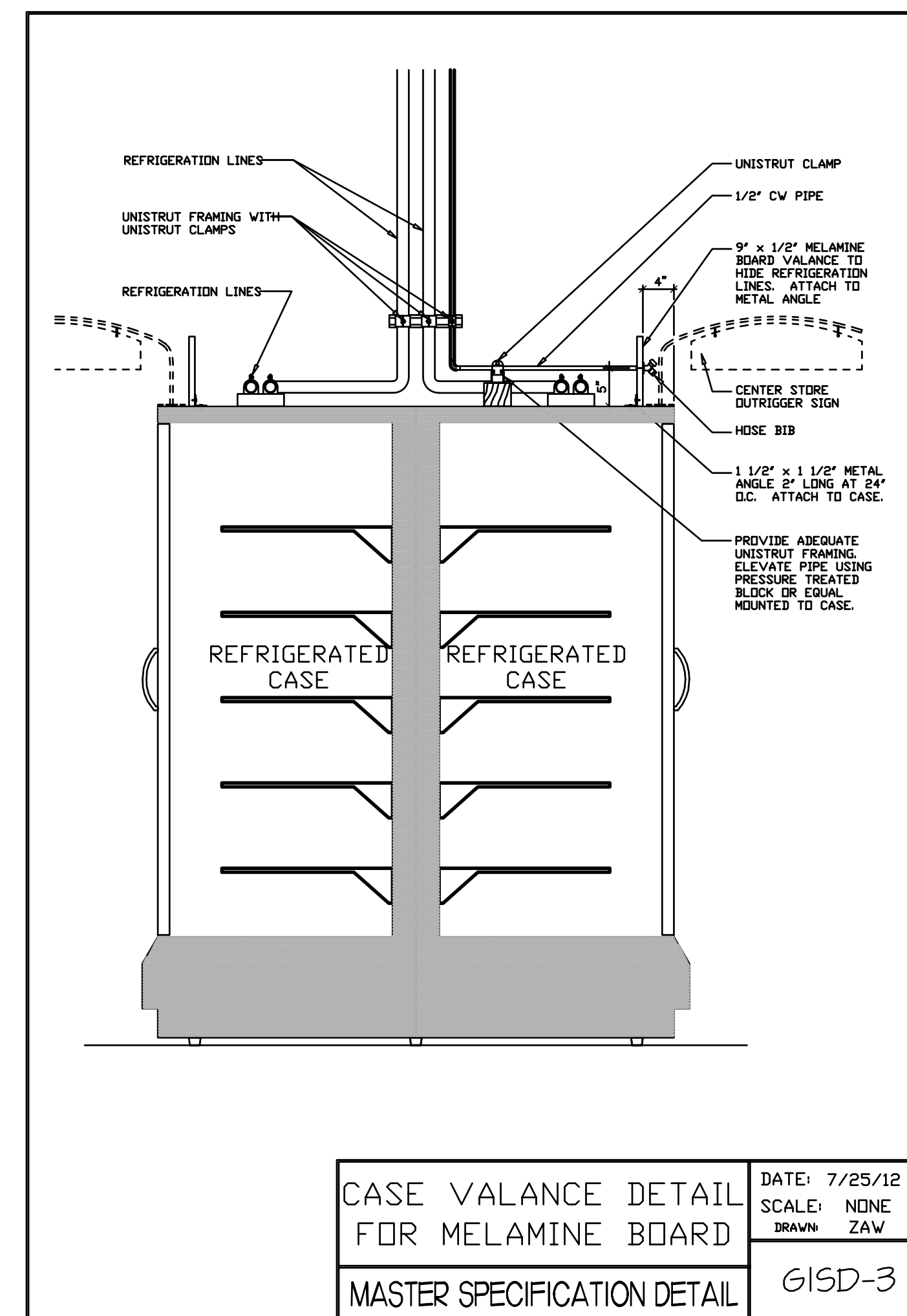
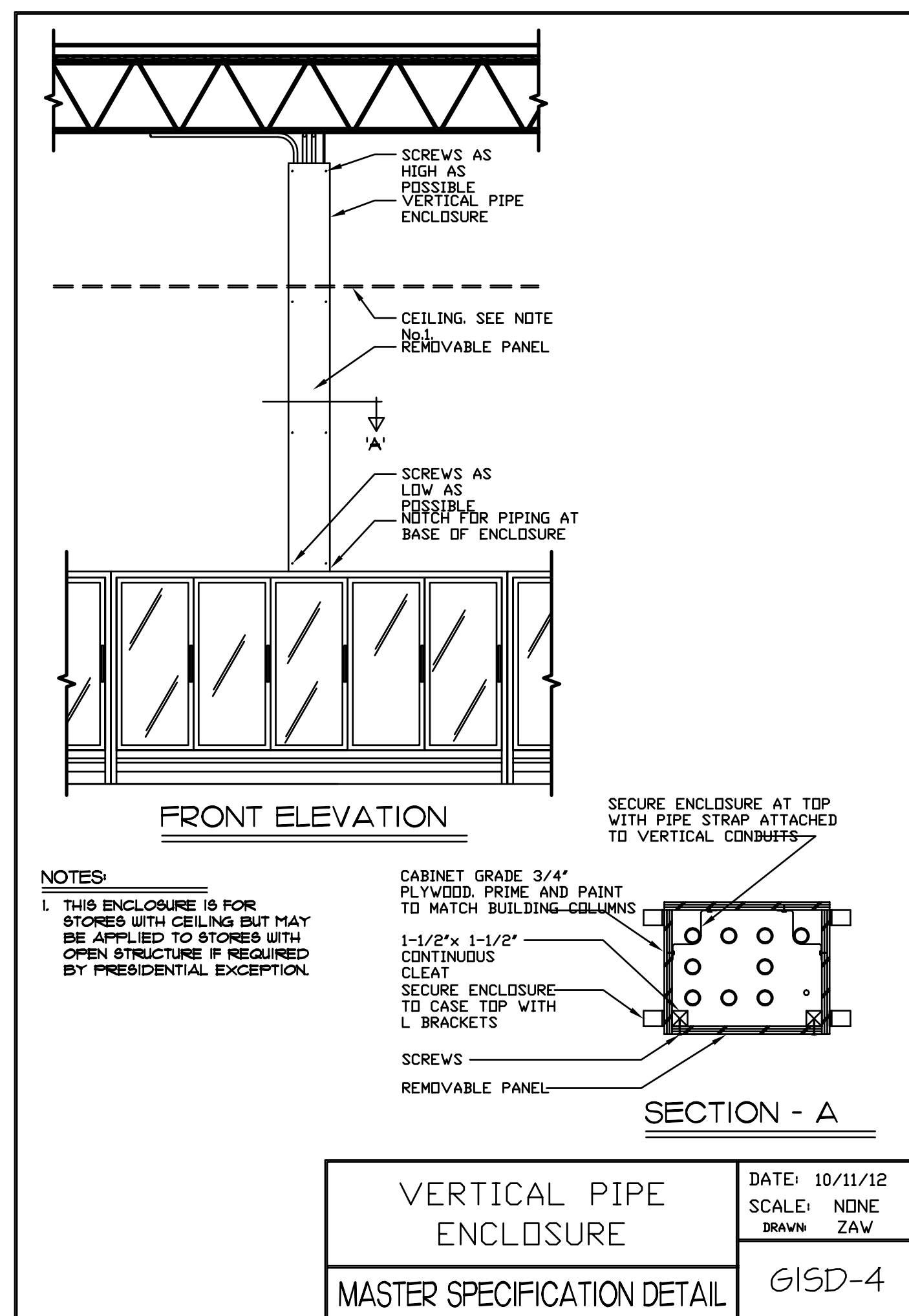
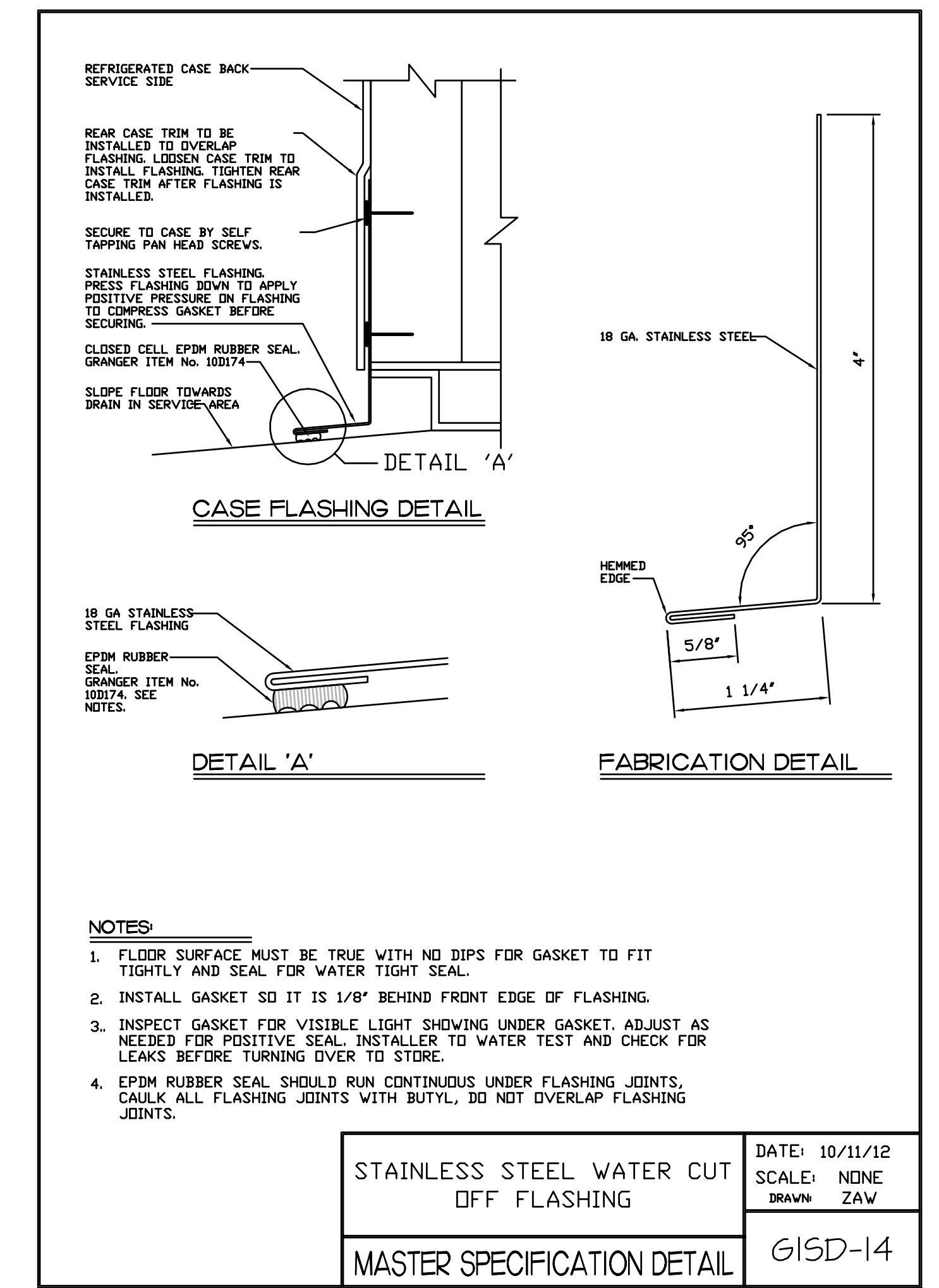
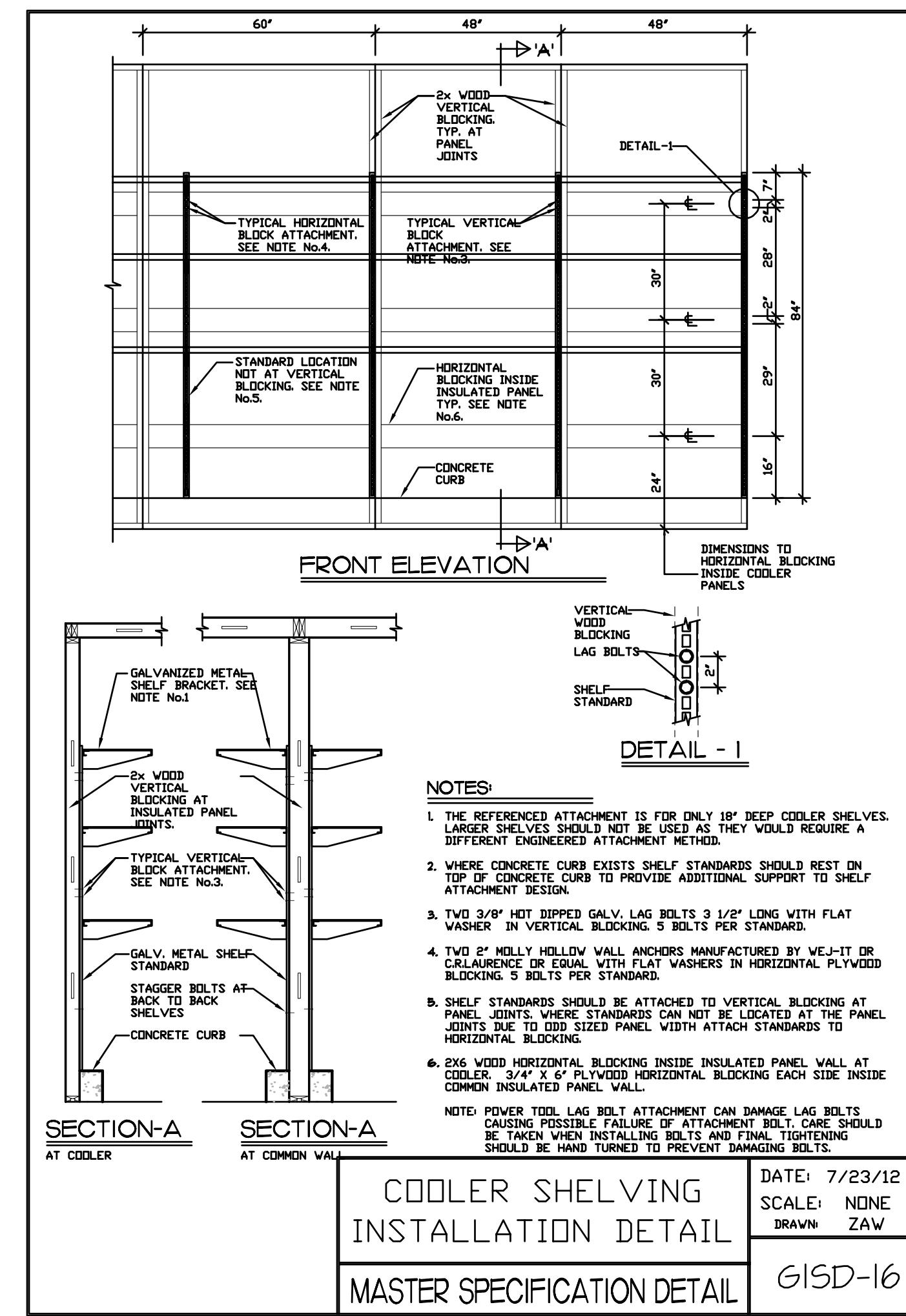
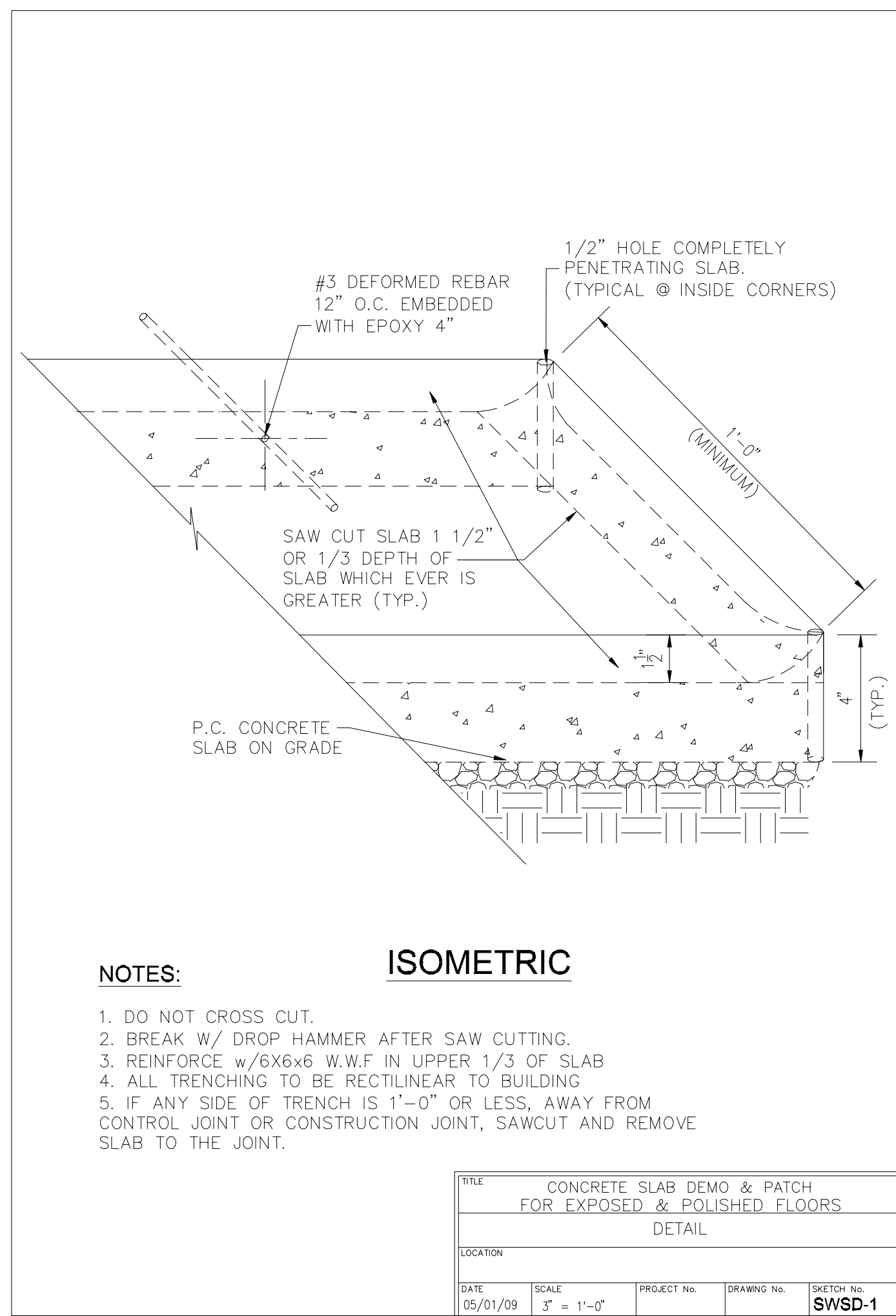
WITHIN THE WALLS REMODEL

1101 FLOWER MOUND RD. FLOWER MOUND, TX

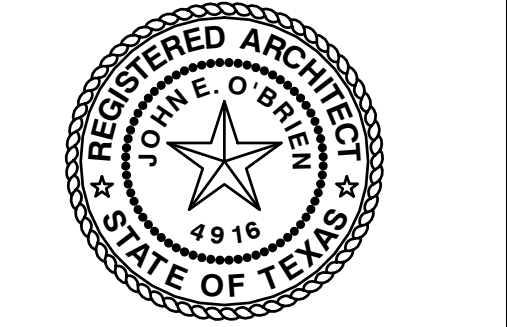
A DEVELOPMENT OF: KROGER

ISSUE LOG

NO.	DESCRIPTION	DATE
ISSUED FOR BID		11.24.2012



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JOHN O'BRIEN - ARCHITECT REGISTRATION NO. 4916

DATE: 11.06.2012 JOB: 12007 SCALE:

SHEET NO.

A5.1.1 ARCHITECTURAL STANDARD DETAILS

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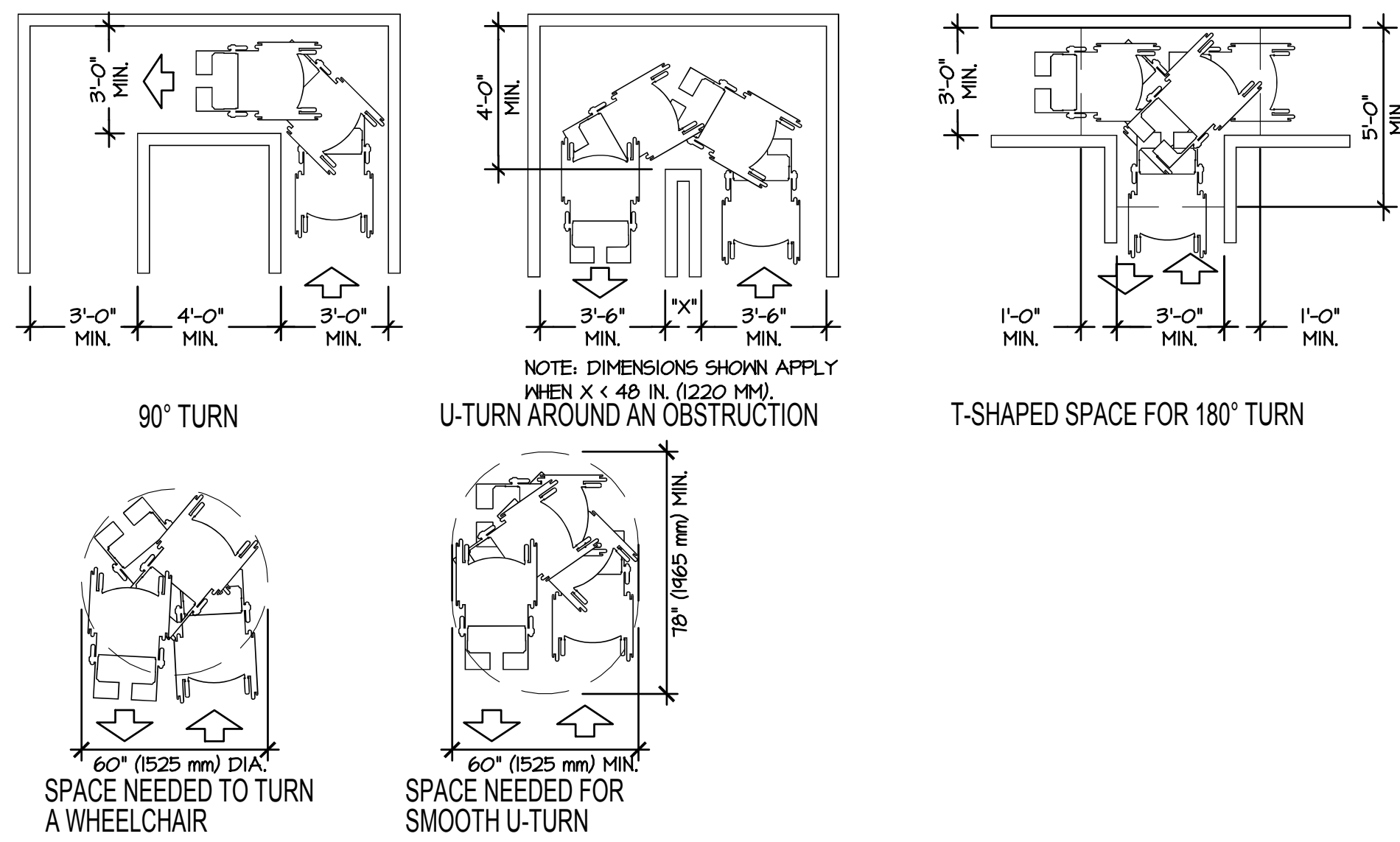


KROGER
SW-585

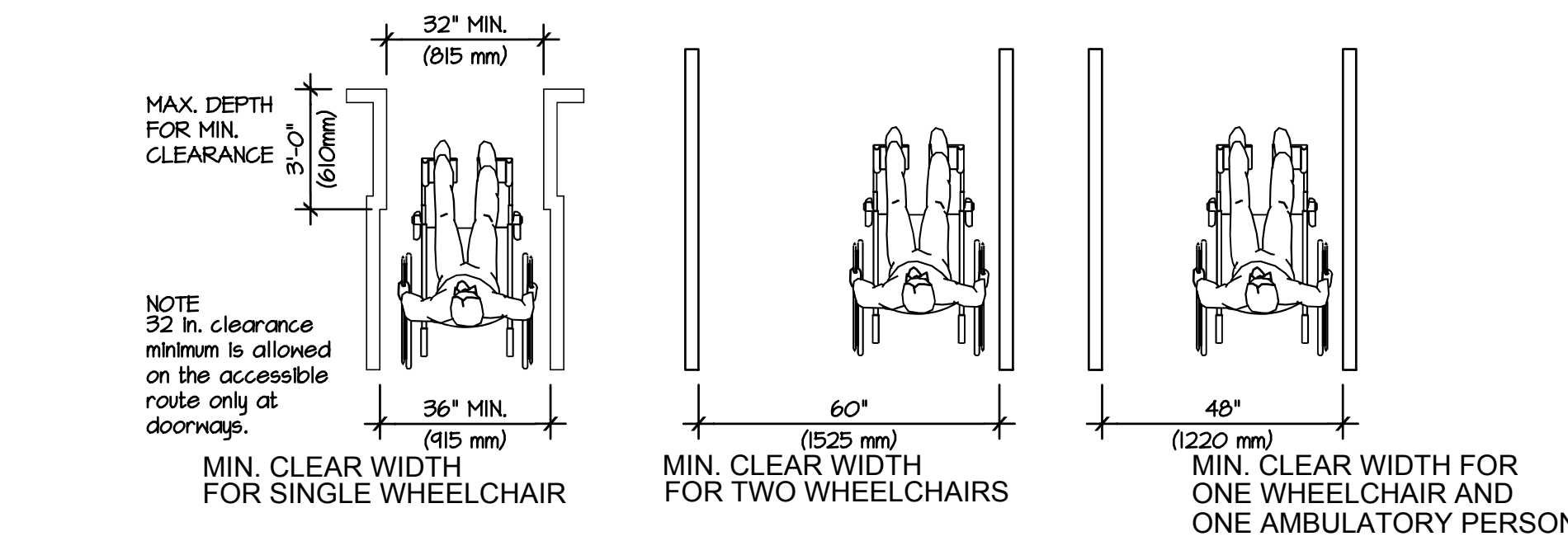
WITHIN THE WALLS
REMODEL

1101 FLOWER MOUND RD.
FLOWER MOUND, TX

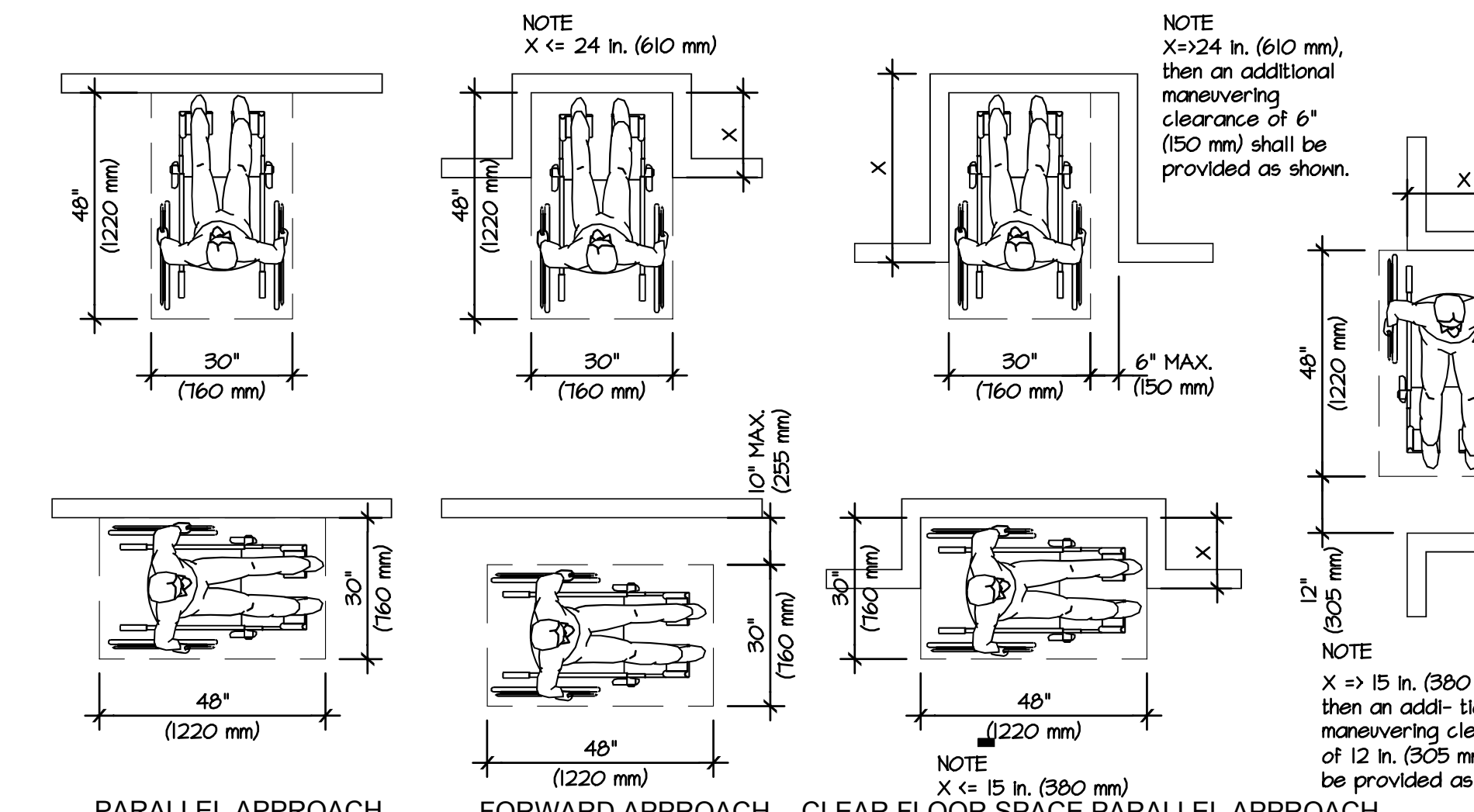
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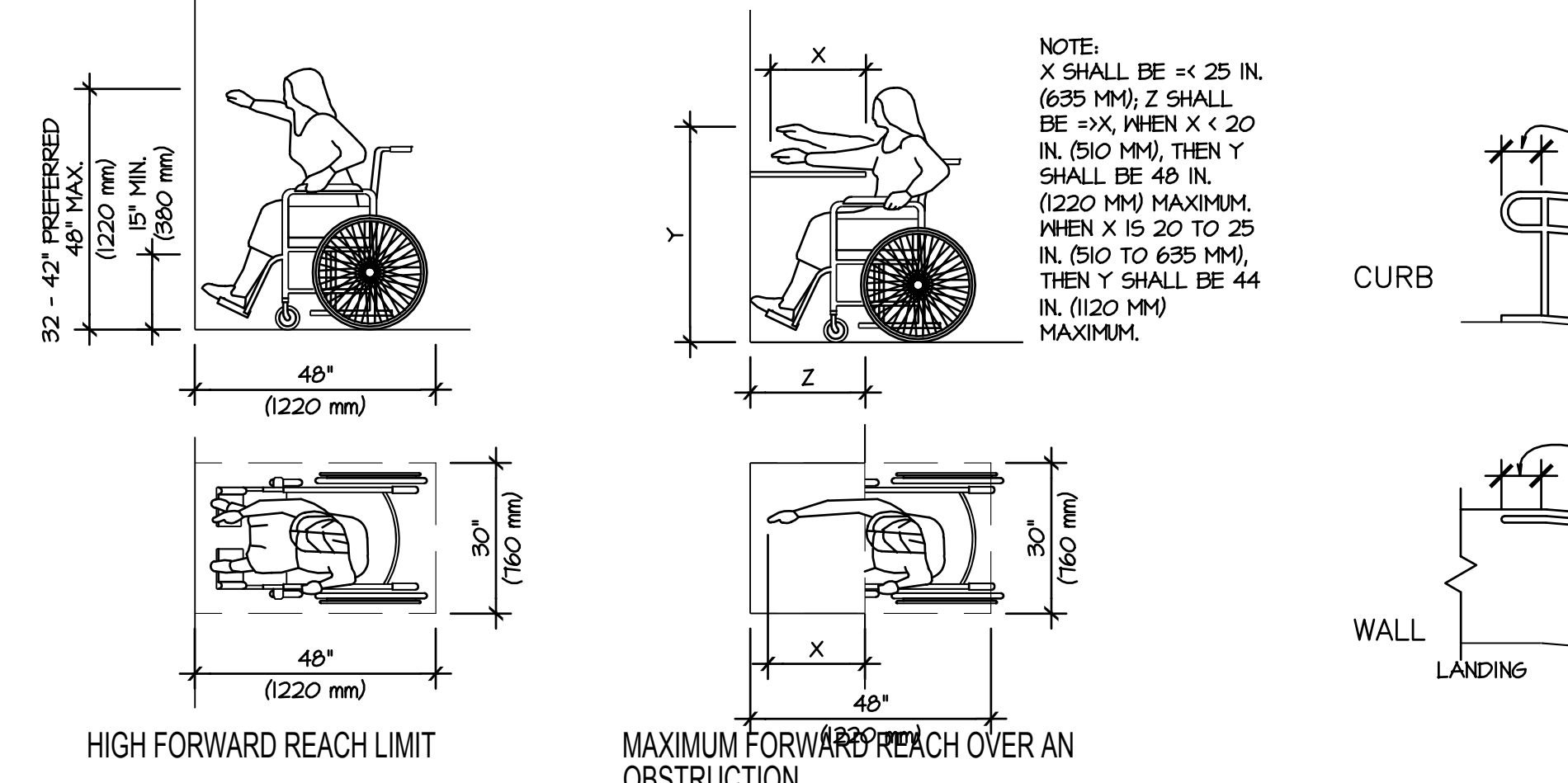
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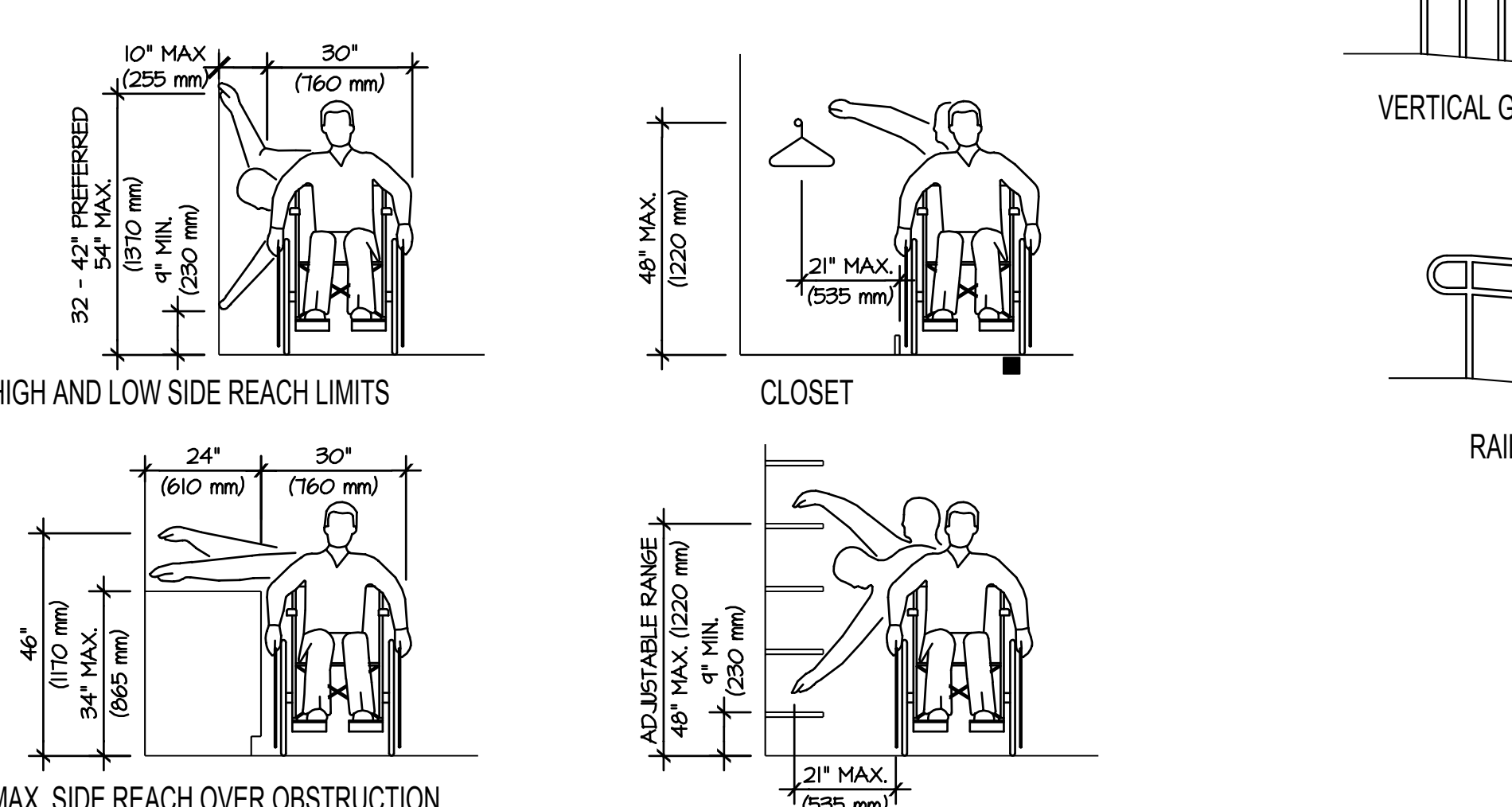
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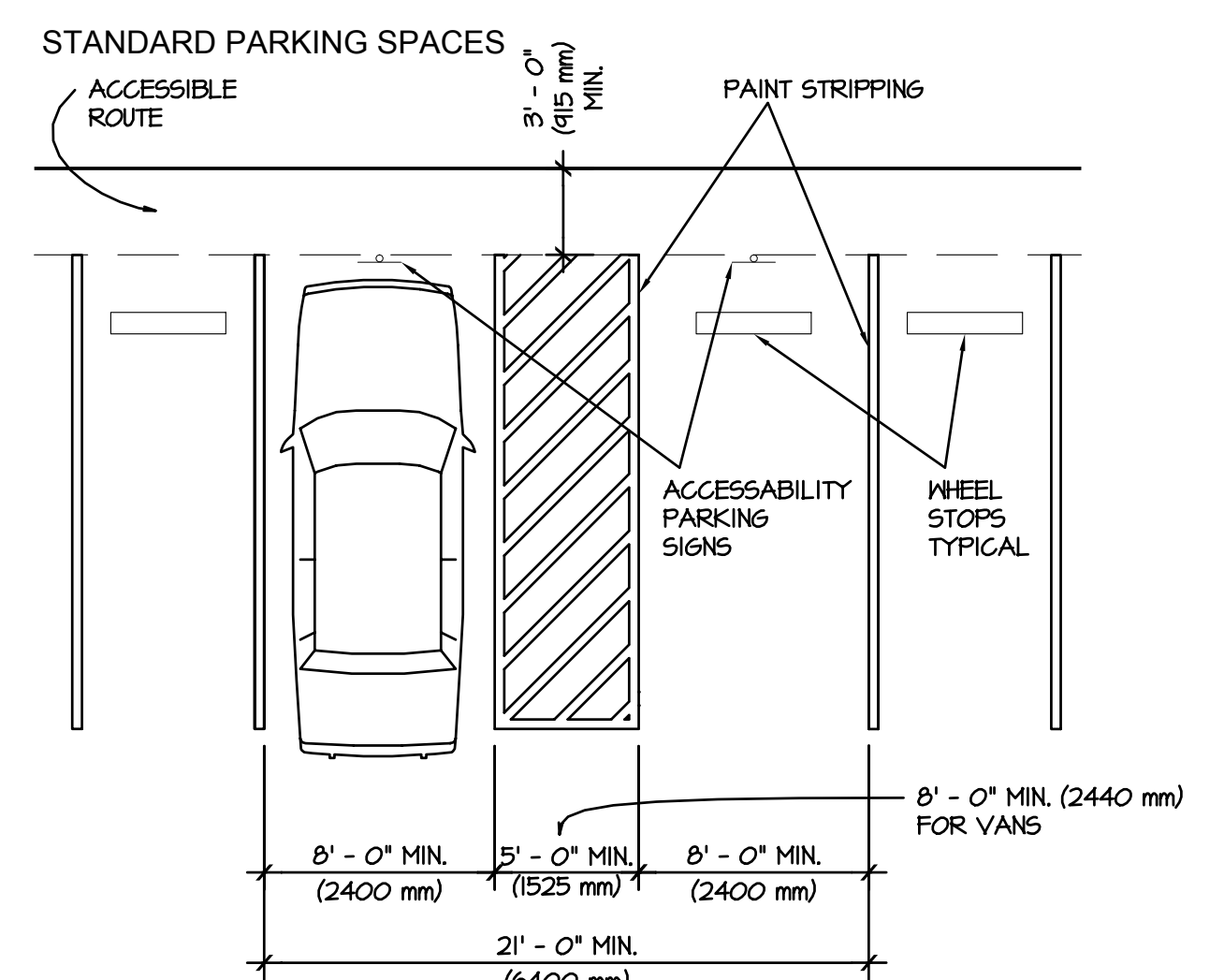
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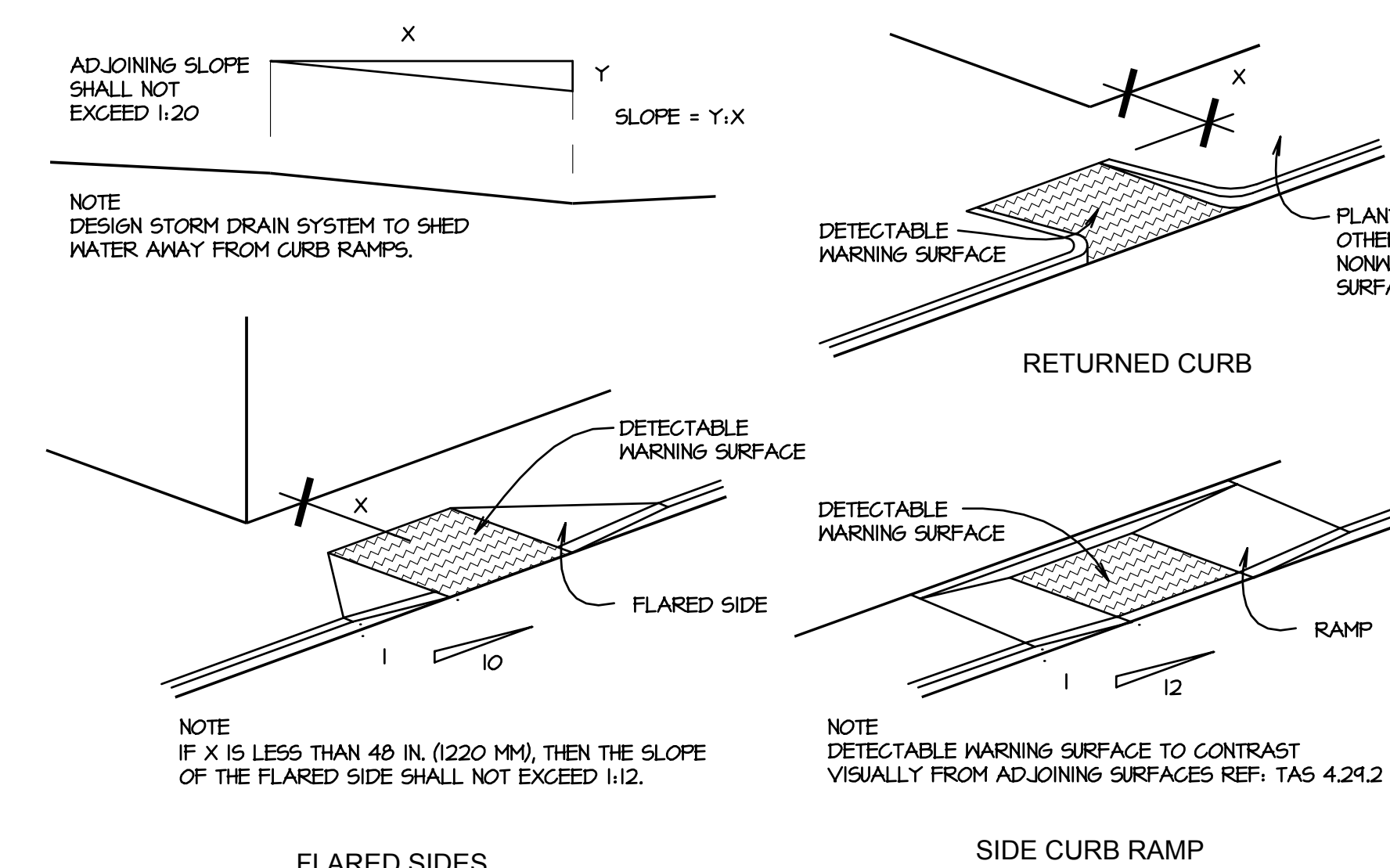
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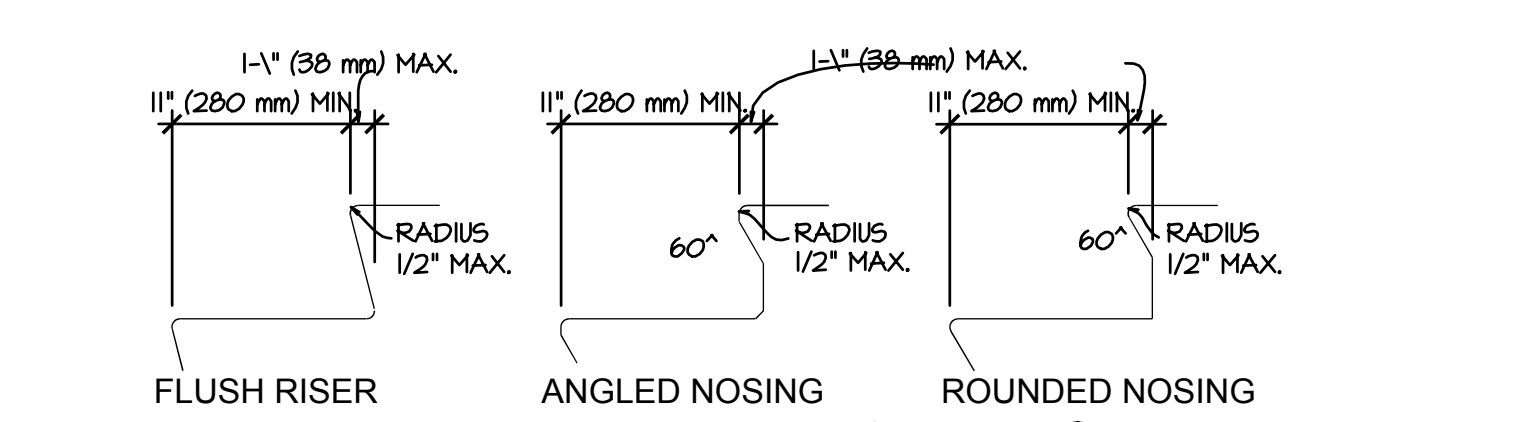
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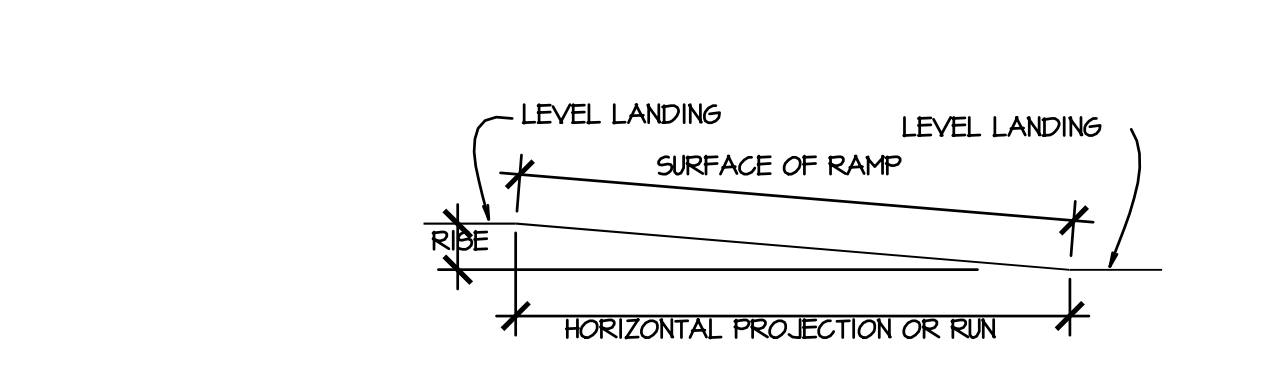
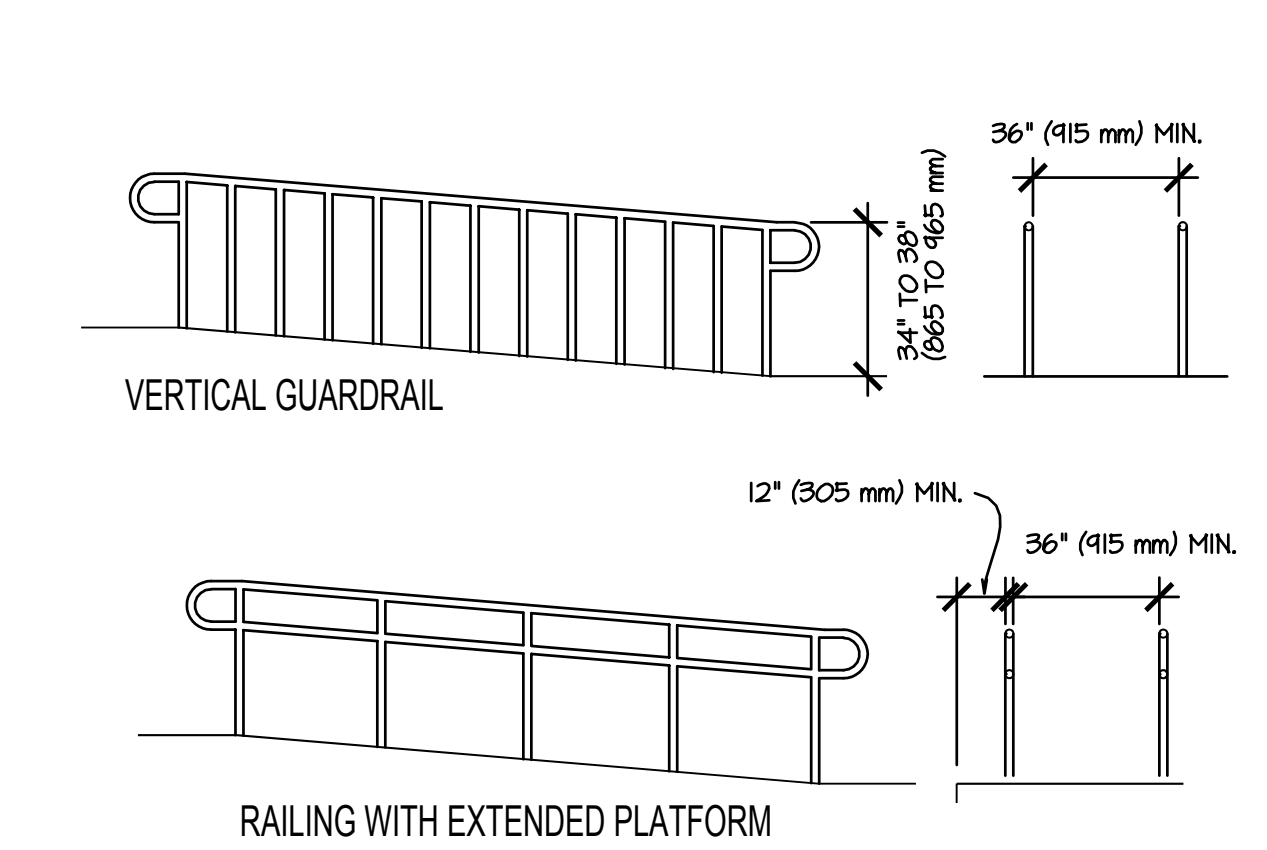
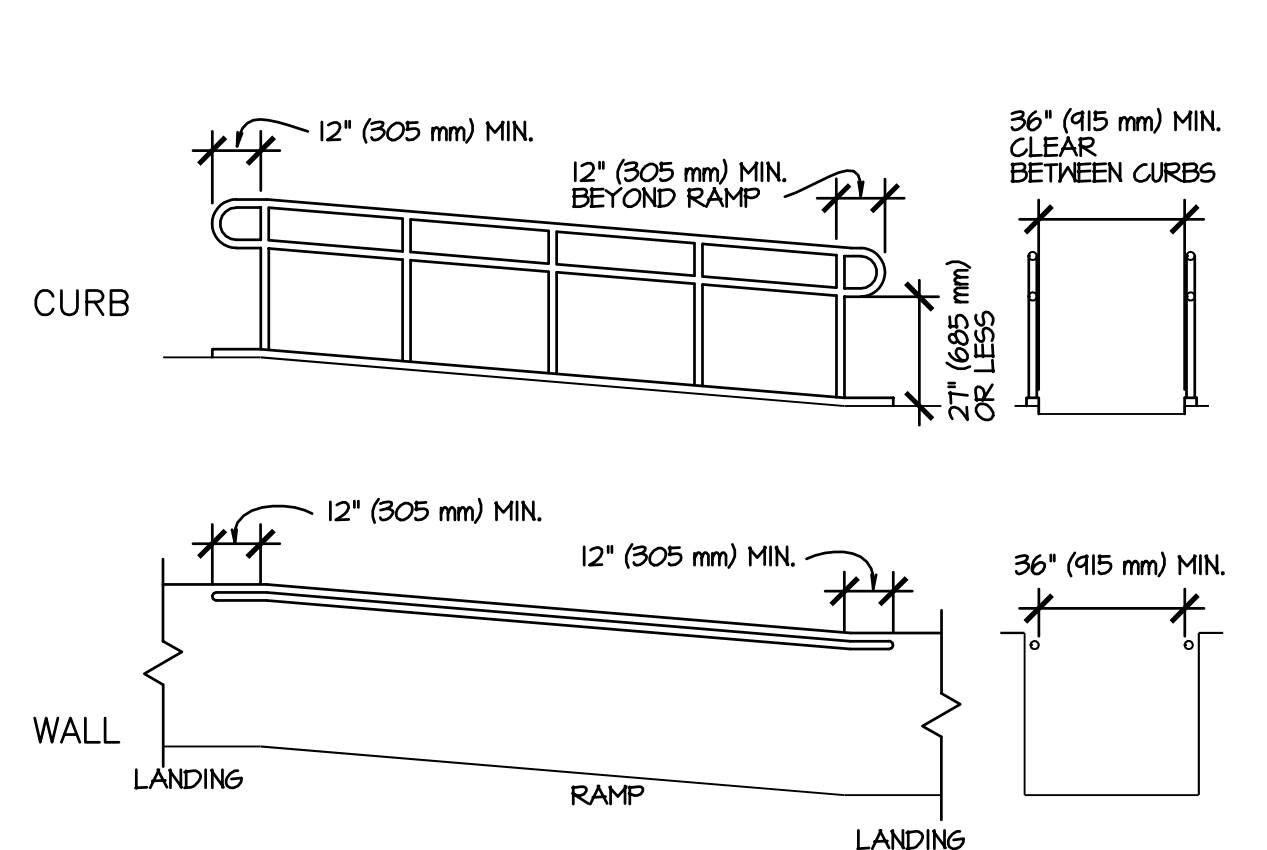
06 ACCESSIBLE PARKING SPACE
SCALE: N.T.S.



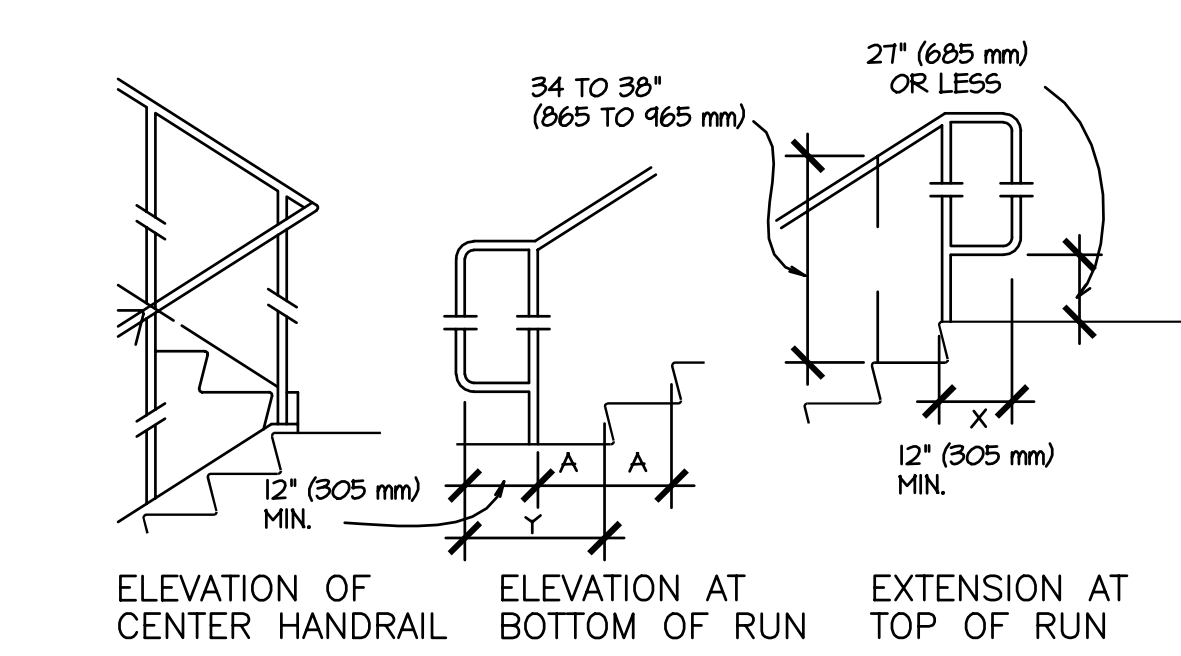
07 ACCESSIBLE CURB RAMP
SCALE: N.T.S.



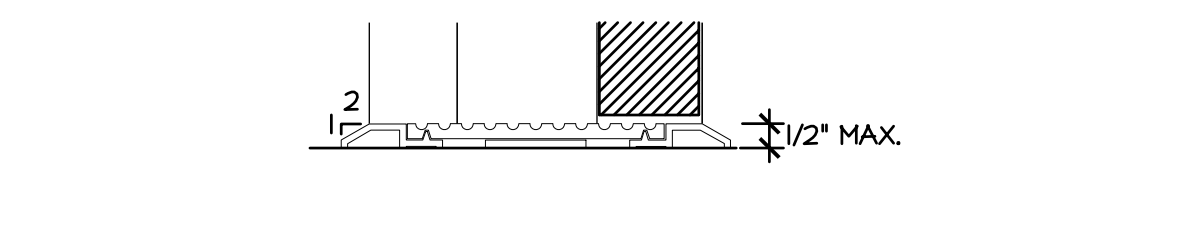
08 TREAD WIDTH/ NOSINGS
SCALE: N.T.S.



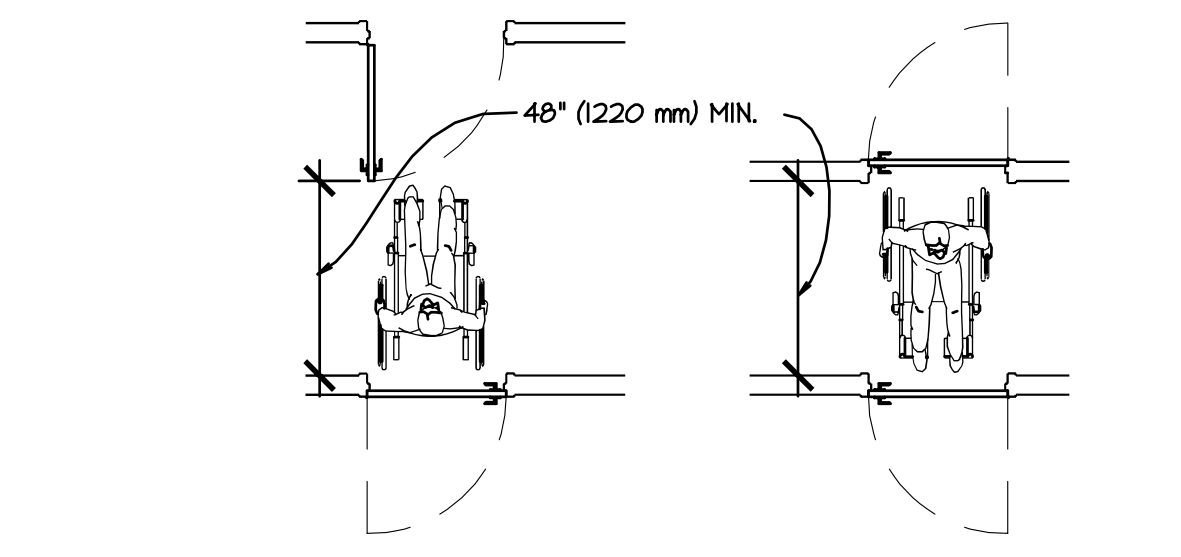
09 ACCESSIBLE RAMPS
SCALE: N.T.S.



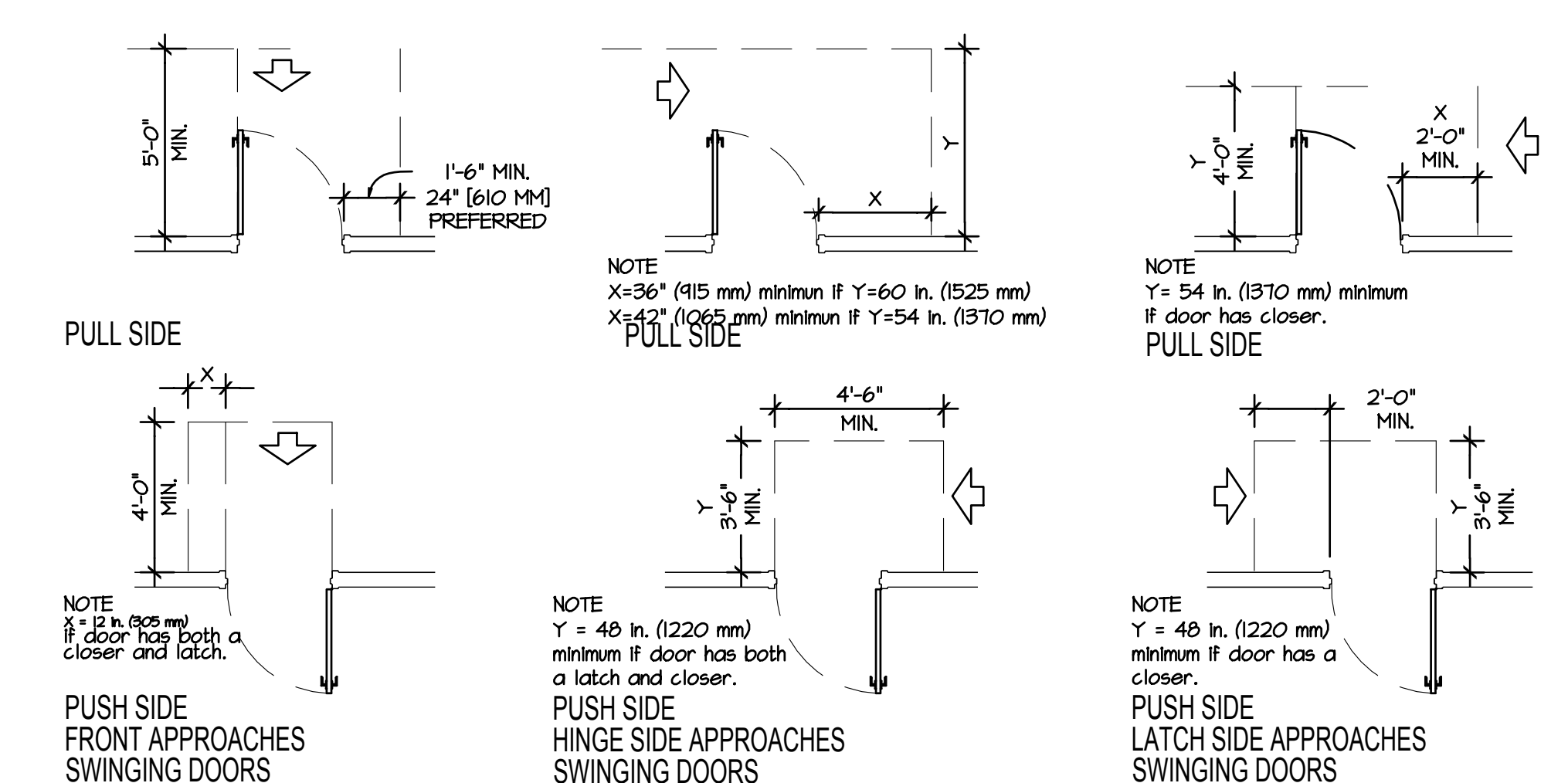
10 STAIR HANDRAILS
SCALE: N.T.S.



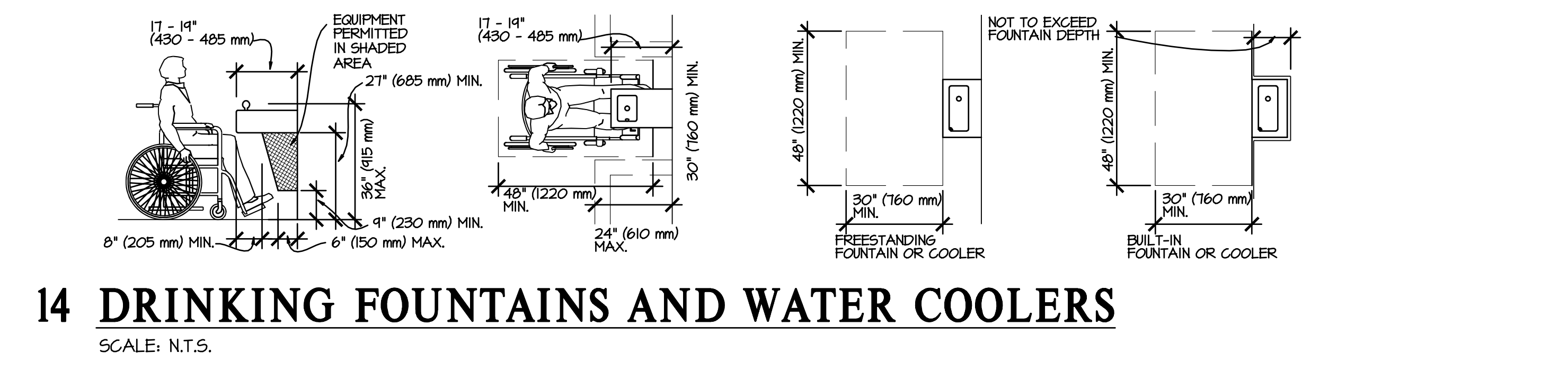
11 THRESHOLD @ DOORWAY
SCALE: N.T.S.



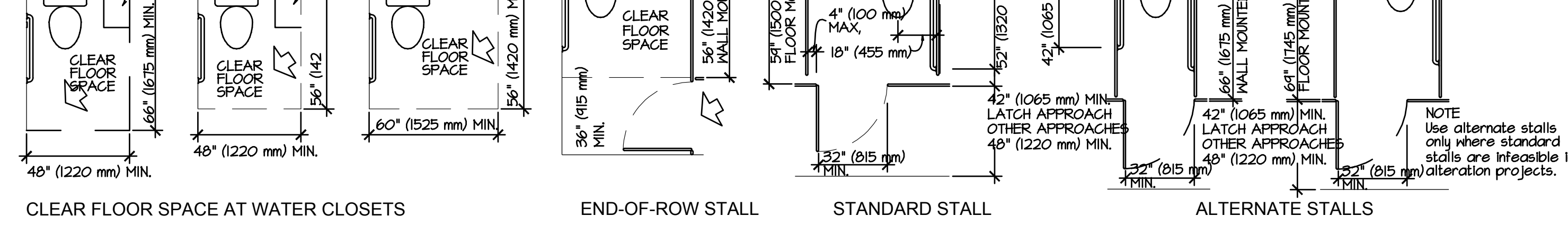
12 DOORS IN A SERIES
SCALE: N.T.S.



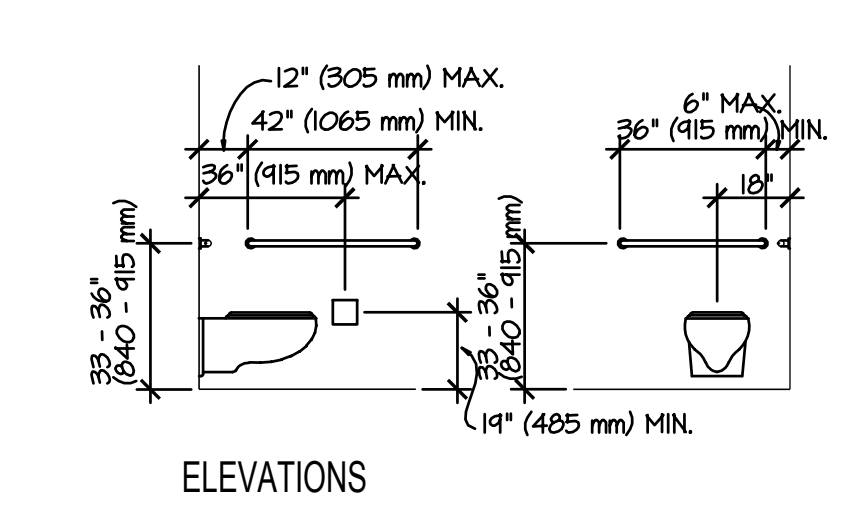
13 DOOR CLEARANCES
SCALE: N.T.S.



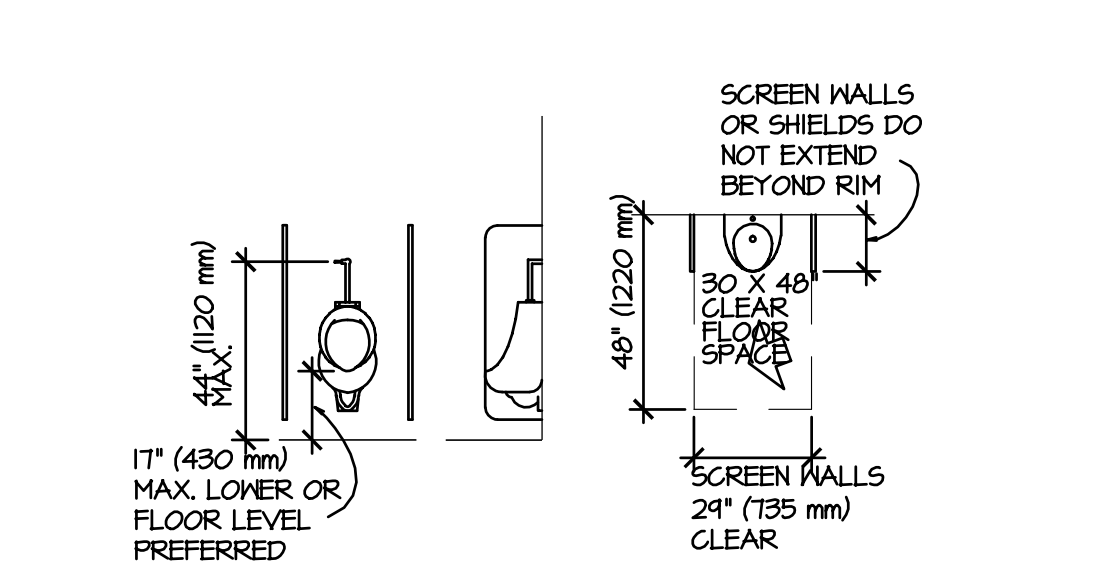
14 DRINKING FOUNTAINS AND WATER COOLERS
SCALE: N.T.S.



15 CLEAR FLOOR SPACE @ WATER CLOSETS/ TOILET STALLS
SCALE: N.T.S.

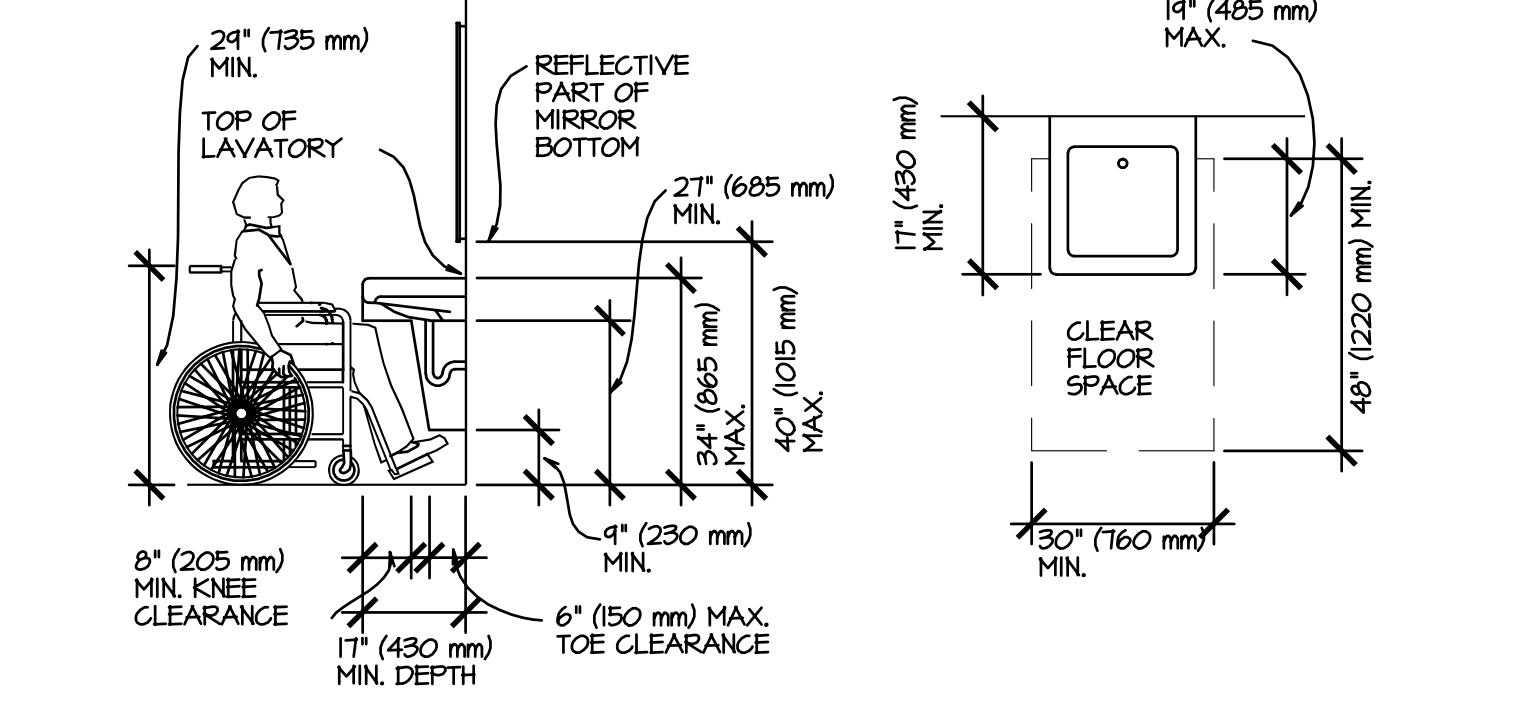


16 GRAB BAR AT WATER CLOSET
SCALE: N.T.S.



17 URINAL HEIGHTS
SCALE: N.T.S.

17 DOOR WIDTH
SCALE: N.T.S.



20 LAVATORY CLEARANCES
SCALE: N.T.S.

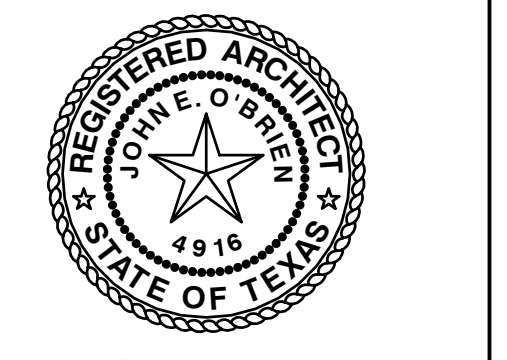
18 HANDRAIL/ GRAB BAR SPACING
SCALE: N.T.S.

21 CONTROL REACH LIMITS
SCALE: N.T.S.

ISSUE LOG		
NO.	DESCRIPTION	DATE
1	ISSUED FOR BID	11.24.2012



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JOHN O'BRIEN - ARCHITECT
REGISTRATION NO. 4916
DATE: 11.06.2012 JOB: 12007 SCALE:

SHEET NO.
A9.1
TAS STANDARDS

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